

12.1700 Exception 1700

12.1700.1 The lands shall only be used for the following purposes:

- .1 offices for Bell Canada; and,
- .2 purposes accessory to the other permitted purpose.

12.1701 Exception 1701

12.1701.1 The lands shall only be used for the following purposes:

- .1 the purposes permitted in an R1 zone;
- .2 a community club; and,
- .3 a recreation facility.

12.1702 Exception 1702

12.1702.1 The lands shall only be used for the following purposes:

- .1 shall only be used for the purposes permitted in an R1 zone.

12.1702.2 The lands shall be subject to the following requirements and restrictions:

- .1 Minimum Lot Area: 330 square metres
- .2 Minimum Lot Width:
 - .a Interior Lot: 13.75 metres.
 - .b Corner Lot: 15.55 metres
- .3 Minimum Lot Depth: 0 metres.
- .4 Minimum Front Yard Depth: 6.0 metres to the front of a garage and 4.5 metres to the front wall of a dwelling.
- .5 Minimum Exterior Side Yard Width: 3.0 metres, except where a garage faces the exterior side lot line, the minimum setback to the front of the garage shall be 6.0 metres.
- .6 Minimum Rear Yard Depth: 7.5 metres. The rear yard depth may be reduced to a minimum of 6.0 metres, provided that the area of the rear yard is at least 25% of the minimum lot area.
- .7 Minimum Interior Side Yard Width:
 - .a 0.6 metres, provided the combined total of the interior side yards on an interior lot is not less than 1.8 metres; and,
 - .b 1.2 metres where the side yard abuts a public walkway or a non-residential zone.
- .8 Minimum Landscaped Open Space: 45% of the minimum front yard area, and 35% of the minimum front yard area if the extension of the side lot lines toward the front lot line results in an angle of less than 75 degrees at the front lot line.
- .9 Where a lot has a width greater than 13.5 metres and the width of the porch is 50%, or less, of the ground floor width of the dwelling unit, excluding any garage, the porch may encroach 2.0 metres into the minimum front yard depth.

12.1703 Exception 1703

12.1703.1 The lands shall only be used for the following purposes:

- .1 shall only be used for the purposes permitted in an R1 zone.

12.1703.2 The lands shall be subject to the following requirements and restrictions:

- .1 Minimum Lot Area: 330 square metres
- .2 Minimum Lot Width:
 - .a Interior Lot: 16.80 metres
 - .b Corner Lot: 18.60 metres
- .3 Minimum Lot Depth: 0 metres.
- .4 Minimum Front Yard Depth: 6.0 metres to the front of a garage and 4.5 metres to the front wall of a dwelling.
- .5 Minimum Exterior Side Yard Width: 3.0 metres, except where a garage faces the exterior side lot line, the minimum setback to the front of the garage shall be 6.0 metres.
- .6 Minimum Rear Yard Depth: 7.5 metres. The rear yard depth may be reduced to a minimum of 6.0 metres, provided that the area of the rear yard is at least 25% of the minimum lot area.
- .7 Minimum Interior Side Yard Width:
 - .a 0.6 metres, provided the combined total of the interior side yards on an interior lot is not less than 1.8 metres; and,
 - .b 1.2 metres where the side yard abuts a public walkway or a non-residential zone.
- .8 Minimum Landscaped Open Space: 45% of the minimum front yard area, and 35% of the minimum front yard area if the extension of the side lot lines toward the front lot line results in an angle of less than 75 degrees at the front lot line.
- .9 Where a lot has a width greater than 13.5 metres and the width of the porch is 50%, or less, of the ground floor width of the dwelling unit, excluding any garage, the porch may encroach 2.0 metres into the minimum front yard depth.

12.1704 Exception 1704

12.1704.1 The lands shall only be used for the following purposes:

- .1 the purposes permitted in a LC zone; and,
- .2 a gas bar.

12.1704.2 The lands shall be subject to the following requirements and restrictions:

- .1 all gasoline pump islands and related canopies shall be located a minimum of 5.2 metres from any street line and a minimum of 7.5 metres from any lot line adjoining a residential zone. In the case of a corner property, the gasoline pump islands shall be located at a minimum distance of 3 metres back from a straight line between points on the lot lines abutting the streets, each such point being a distance of 15 metres from the intersection of the said lot lines;
- .2 the Minimum Front Yard Setback for a gas bar kiosk shall be 6.5 metres;
- .3 all building openings shall be at an elevation of 207.09 metres or higher;
- .4 all garbage and refuse containers shall be enclosed; and,
- .5 garbage and refuse containers for a restaurant shall be located within a climate controlled area within the building.

12.1704.3 for the purposes of Exception 1704:

- .1 shall, in respect of the purposes permitted in Exception 1704.1(1) be subject to the requirements and restrictions relating to the LC zone and all the general provisions of the by-law that are not in conflict with those set out in Exception 1704.2.
- .2 shall, in respect of the purposes permitted in Exception 1704.1(2) be subject to the requirements and restrictions relating to the GC zone and all the general provisions of this by-law that are not in conflict with these set out in Exception 1704.2.

12.1705 Exception 1705

12.1705.1 The lands shall only be used for the following purposes:

- .1 the purposes permitted by Exception 1568.1;
- .2 as a temporary use, until October 1, 2003, motor vehicle sales;
- .3 purposes accessory to the other permitted purposes.

12.1705.2 The lands shall be subject to the following requirements and restrictions:

- .1 the requirements and restrictions of Exception 1570.2.
- .2 a maximum of 10 motor vehicles will be displayed for sale within a building.
- .3 the display area for motor vehicle sales shall not exceed 92 metres.
- .4 a motor vehicle body shop and a motor vehicle repair shop shall not be permitted.

12.1706 Exception 1706

12.1706.1 The lands shall only be used for the following purposes:

- .1 The purposes permitted by Exception 1612.1;
- .2 a single detached dwelling;
- .3 purposes accessory to the other permitted purposes.

12.1706.2 The lands shall be subject to the following requirements and restrictions:

- .1 for those purposes permitted by Exception 1706.1(1), the requirements and restrictions of Exception 1612.2.
- .2 for those purposes permitted by Exception 1706.1(2) the following:
 - .a Minimum Lot Area: 216 square metres;
 - .b Minimum Lot Width:
 - .i Interior Lot: 9.0 metres.
 - .ii Corner Lot: 10.8 metres
- .3 Minimum Lot Depth: 24 metres;
- .4 Minimum Front Yard Depth: 6.0 metres to the front of a garage and 4.5 metres to the front wall of a dwelling.
- .5 Minimum Exterior Side Yard Width: 3.0 metres, except where a garage faces the exterior side lot line, the minimum setback to the front of the garage shall be 6.0 metres.
- .6 Minimum Rear Yard Depth: 7.5 metres. The rear yard depth may be reduced to a minimum of 6.0 metres, provided that the area of the rear yard is at least 25% of the minimum lot area.
- .7 Minimum Interior Side Yard Width: 1.2 metres on one side and 0.6 metres on the other side.
- .8 Minimum Landscaped Open Space:
 - .a 40% of the minimum front yard area; and,
 - .b 30% of the minimum front yard area, if the acute angle at the intersection of the side lot lines extended beyond the front lot line is greater than 25 degrees.
- .9 the following provisions shall apply to garages:
 - .a the maximum garage door width shall be 3.10 metres;
 - .b the garage door width may be widened by an extra 0.6 metres if the front of the garage is not more than 2.5 metres closer to the front lot line than the ground floor main entrance of the dwelling unit;

- .c the garage door width restriction does not apply to the garage door facing a flankage lot line; and,
- .d the interior garage width, as calculated 3 metres from the garage opening shall not exceed 0.6 metres over the maximum garage door width permitted on the lot.

12.1707 Exception 1707

12.1707.1 The lands shall only be used for the following purposes:

- .1 The purposes permitted in an R1 Zone;
- .2 a single detached dwelling;
- .3 purposes accessory to the other permitted purposes.

12.1707.2 The lands shall be subject to the following requirements and restrictions:

- .1 for those purposes permitted by Exception 1707.1(1), the requirements and restrictions of Exception 1471.2.
- .2 for those purposes permitted by Exception 1707.1(2) the following:
 - .a Minimum Lot Area: 216 square metres;
 - .b Minimum Lot Width:
 - .i Interior Lot: 9.0 metres.
 - .ii Corner Lot: 10.8 metres
 - .3 Minimum Lot Depth: 24 metres;
 - .4 Minimum Front Yard Depth: 6.0 metres to the front of a garage and 4.5 metres to the front wall of a dwelling.
 - .5 Minimum Exterior Side Yard Width: 3.0 metres, except where a garage faces the exterior side lot line, the minimum setback to the front of the garage shall be 6.0 metres.
 - .6 Minimum Rear Yard Depth: 7.5 metres. The rear yard depth may be reduced to a minimum of 6.0 metres, provided that the area of the rear yard is at least 25% of the minimum lot area.
 - .7 Minimum Interior Side Yard Width: 1.2 metres on one side and 0.6 metres on the other side.
 - .8 Minimum Landscaped Open Space:
 - .a 40% of the minimum front yard area; and,
 - .b 30% of the minimum front yard area, if the acute angle at the intersection of the side lot lines extended beyond the front lot line is greater than 25 degrees.
 - .9 the following provisions shall apply to garages:
 - .a the maximum garage door width shall be 3.10 metres;
 - .b the garage door width may be widened by an extra 0.6 metres if the front of the garage is not more than 2.5 metres closer to the front lot line than the ground floor main entrance of the dwelling unit;

- .c the garage door width restriction does not apply to the garage door facing a flankage lot line; and,
- .d the interior garage width, as calculated 3 metres from the garage opening shall not exceed 0.6 metres over the maximum garage door width permitted on the lot.

12.1708 Exception 1708

12.1708.1 The lands shall only be used for the following purposes:

- .1 shall only be used for the purposes permitted in an R1 zone.

12.1708.2 The lands shall be subject to the following requirements and restrictions:

- .1 Minimum Lot Area: 330 square metres
- .2 Minimum Lot Width:
 - .i Interior Lot: 18.3 metres
 - .ii Corner Lot: 20.1 metres
- .3 Minimum Lot Depth: 24.4 metres.
- .4 Minimum Front Yard Depth: 4.5 metres, but 6.0 metres to the opening of a garage.
- .5 Minimum Exterior Side Yard Width: 3.0 metres, except where a garage faces the exterior side lot line, the minimum setback to the front of the garage shall be 6.0 metres.
- .6 Minimum Rear Yard Depth: 7.5 metres. The rear yard depth may be reduced to a minimum of 6.0 metres, provided that the area of the rear yard is at least 25% of the minimum lot area.
- .7 Minimum Interior Side Yard Width:
 - .a 1.2 metres on one side and 0.6 metres on the other side.
 - .b where the distance between the walls of two dwellings is less than 2.4 metres, no door or no window below grade will be permitted in any such wall;
 - .c 1.2 metres where the side yard abuts a public walkway or a non-residential zone;
- .8 Minimum Landscaped Open Space:
 - .a 40% of the minimum front yard area; and,
 - .b 30% of the minimum front yard area, if the acute angle at the intersection of the side lot lines extended beyond the front lot line is greater than 25 degrees.
- .9 where a lot has a width greater than 13.5 metres and the width of the porch is 50%, or less, of the ground floor width of the dwelling unit, excluding any garage, the porch may encroach 2.0 metres into the minimum front yard depth.
- .10 Minimum Setback from NS Zone: no permanent structures and excavations shall be located closer than 10 metres to a NS Zone.
- .11 no permanent structures and excavations shall be located within 10 metres of the limit of the TransCanada Pipeline right-of-way.

12.1709 Exception 1709

12.1709.1 The lands shall only be used for the following purposes:

.1 shall only be used for the purposes permitted in an R1 zone.

12.1709.2 The lands shall be subject to the following requirements and restrictions:

.1 Minimum Lot Area: 330 square metres

.2 Minimum Lot Width:

- .a Interior Lot: 24.4 metres
- .b Corner Lot: 26.2 metres.

.3 Minimum Lot Depth: 24.4 metres.

.4 Minimum Front Yard Depth: 4.5 metres, but 6.0 metres to the opening of a garage.

.5 Minimum Exterior Side Yard Width: 3.0 metres, except where a garage faces the exterior side lot line, the minimum setback to the front of the garage shall be 6.0 metres.

.6 Minimum Rear Yard Depth: 10 metres.

.7 Minimum Interior Side Yard Width:

- .a 1.2 metres on one side and 0.6 metres on the other side.
- .b where the distance between the walls of two dwellings is less than 2.4 metres, no door or no window below grade will be permitted in any such wall;
- .c 1.2 metres where the side yard abuts a public walkway or a non-residential zone;

.8 Minimum Landscaped Open Space:

- .a 40% of the minimum front yard area; and,
- .b 30% of the minimum front yard area, if the acute angle at the intersection of the side lot lines extended beyond the front lot line is greater than 25 degrees.

.9 where a lot has a width greater than 13.5 metres and the width of the porch is 50%, or less, of the ground floor width of the dwelling unit, excluding any garage, the porch may encroach 2.0 metres into the minimum front yard depth.

.10 Minimum Setback from NS Zone: no permanent structures and excavations shall be located closer than 10 metres to a Natural System Zone.

12.1710 Exception 1710

12.1710.1 The lands shall only be used for the following purposes:

.1 shall only be used for the purposes permitted in an R1 zone.

12.1710.2 The lands shall be subject to the following requirements and restrictions:

.1 Minimum Lot Area: 330 square metres

.2 Minimum Lot Width:

- .a Interior Lot: 16.80 metres.
- .b Corner Lot: 18.60 metres

.3 Minimum Lot Depth: 0 metres.

.4 Minimum Front Yard Depth: 6.0 metres to the front of a garage and 4.5 metres to the front wall of a dwelling.

.5 Minimum Exterior Side Yard Width: 3.0 metres, except where a garage faces the exterior side lot line, the minimum setback to the front of the garage shall be 6.0 metres.

.6 Minimum Rear Yard Depth: 7.5 metres. The rear yard depth may be reduced to a minimum of 6.0 metres, provided that the area of the rear yard is at least 25% of the minimum lot area.

.7 Minimum Interior Side Yard Width:

- .a 1.2 metres on one side and 0.6 metres on the other side.
- .b where the distance between the walls of two dwellings is less than 2.4 metres, no door or no window below grade will be permitted in any such wall;
- .c 1.2 metres where the side yard abuts a public walkway or a non-residential zone;

.8 Minimum Landscaped Open Space:

- .a 40% of the minimum front yard area; and,
- .b 30% of the minimum front yard area, if the acute angle at the intersection of the side lot lines extended beyond the front lot line is greater than 25 degrees.

.9 where a lot has a width greater than 13.5 metres and the width of the porch is 50%, or less, of the ground floor width of the dwelling unit, excluding any garage, the porch may encroach 2.0 metres into the minimum front yard depth.

.10 Minimum Setback from NS Zone: no permanent structures and excavations shall be located closer than 10 metres to a Natural System Zone.

.11 no permanent structures and excavations shall be located within 10 metres of the limit of the TransCanada Pipeline right-of-way.

12.1711 Exception 1711

12.1711.1 The lands shall only be used for the following purposes:

.1 shall only be used for the purposes permitted in an R1 zone.

12.1711.2 The lands shall be subject to the following requirements and restrictions:

.1 Minimum Lot Area: 330 square metres

.2 Minimum Lot Width:

- .a Interior Lot: 13.75 metres.
- .b Corner Lot: 15.55 metres.

.3 Minimum Lot Depth: 0 metres.

.4 Minimum Front Yard Depth: 6.0 metres to the front of a garage and 4.5 metres to the front wall of a dwelling.

.5 Minimum Exterior Side Yard Width: 3.0 metres, except where a garage faces the exterior side lot line, the minimum setback to the front of the garage shall be 6.0 metres.

.6 Minimum Rear Yard Depth: 7.5 metres. The rear yard depth may be reduced to a minimum of 6.0 metres, provided that the area of the rear yard is at least 25% of the minimum lot area.

.7 Minimum Interior Side Yard Width:

- .a 1.2 metres on one side and 0.6 metres on the other side;
- .b where the distance between the walls of two dwellings is less than 2.4 metres, no door or no window below grade will be permitted in any such wall;
- .c 1.2 metres where the side yard abuts a public walkway or a non-residential zone;

.8 Minimum Landscaped Open Space: 45% of the minimum front yard area, and 35% of the minimum front yard area if the extension of the side lot lines toward the front lot line results in an angle of less than 75 degrees at the front lot line.

where a lot has a width greater than 13.5 metres and the width of the porch is 50%, or less, of the ground floor width of the dwelling unit, excluding any garage, the porch may encroach 2.0 metres into the minimum front yard depth.

12.1712 Exception 1712

12.1712.1 The lands shall only be used for the following purposes:

.1 shall only be used for the purposes permitted in an R1 zone.

12.1712.2 The lands shall be subject to the following requirements and restrictions:

.1 Minimum Lot Area: 330 square metres

.2 Minimum Lot Width:

- .a Interior Lot: 13.75 metres
- .b Corner Lot: 15.55 metres

.3 Minimum Lot Depth: 0 metres.

.4 Minimum Front Yard Depth: 6.0 metres to the front of a garage and 4.5 metres to the front wall of a dwelling.

.5 Minimum Exterior Side Yard Width: 3.0 metres, except where a garage faces the exterior side lot line, the minimum setback to the front of the garage shall be 6.0 metres.

.6 Minimum Rear Yard Depth: 10 metres.

.7 Minimum Interior Side Yard Width:

- .a 1.2 metres on one side and 0.6 metres on the other side.
- .b where the distance between the walls of two dwellings is less than 2.4 metres, no door or no window below grade will be permitted in any such wall;
- .c 1.2 metres where the side yard abuts a public walkway or a non-residential zone;

.8 Minimum Landscaped Open Space: 45% of the minimum front yard area, and 35% of the minimum front yard area if the extension of the side lot lines toward the front lot line results in an angle of less than 75 degrees at the front lot line.

.9 where a lot has a width greater than 13.5 metres and the width of the porch is 50%, or less, of the ground floor width of the dwelling unit, excluding any garage, the porch may encroach 2.0 metres into the minimum front yard depth.

12.1713 Exception 1713

12.1713.1 The lands shall only be used for the following purposes:

.1 shall only be used for the purposes permitted in an R1 zone.

12.1713.2 The lands shall be subject to the following requirements and restrictions:

.1 Minimum Lot Area: 330 square metres

.2 Minimum Lot Width:

- .a Interior Lot: 16.80 metres
- .b Corner Lot: 18.60 metres

.3 Minimum Lot Depth: 0 metres.

.4 Minimum Front Yard Depth: 6.0 metres to the front of a garage and 4.5 metres to the front wall of a dwelling.

.5 Minimum Exterior Side Yard Width: 3.0 metres, except where a garage faces the exterior side lot line, the minimum setback to the front of the garage shall be 6.0 metres.

.6 Minimum Rear Yard Depth: 7.5 metres. The rear yard depth may be reduced to a minimum of 6.0 metres, provided that the area of the rear yard is at least 25% of the minimum lot area.

.7 Minimum Interior Side Yard Width:

- .a 1.2 metres on one side and 0.6 metres on the other side.
- .b where the distance between the walls of two dwellings is less than 2.4 metres, no door or no window below grade will be permitted in any such wall;
- .c 1.2 metres where the side yard abuts a public walkway or a non-residential zone;

.8 Minimum Landscaped Open Space: 45% of the minimum front yard area, and 35% of the minimum front yard area if the extension of the side lot lines toward the front lot line results in an angle of less than 75 degrees at the front lot line.

.9 where a lot has a width greater than 13.5 metres and the width of the porch is 50%, or less, of the ground floor width of the dwelling unit, excluding any garage, the porch may encroach 2.0 metres into the minimum front yard depth.

12.1714 Exception 1714

12.1714.1 The lands shall only be used for the following purposes:

.1 shall only be used for the purposes permitted in an R1 zone.

12.1714.2 The lands shall be subject to the following requirements and restrictions:

.1 Minimum Lot Area: 330 square metres

.2 Minimum Lot Width:

- .a Interior Lot: 16.80 metres
- .b Corner Lot: 18.60 metres

.3 Minimum Lot Depth: 0 metres.

.4 Minimum Front Yard Depth: 6.0 metres to the front of a garage and 4.5 metres to the front wall of a dwelling.

.5 Minimum Exterior Side Yard Width: 3.0 metres, except where a garage faces the exterior side lot line, the minimum setback to the front of the garage shall be 6.0 metres.

.6 Minimum Rear Yard Depth: 10 metres. The rear yard depth may be reduced to a minimum of 6.0 metres, provided that the area of the rear yard is at least 25% of the minimum lot area.

.7 Minimum Interior Side Yard Width:

- .a 1.2 metres on one side and 0.6 metres on the other side.
- .b where the distance between the walls of two dwellings is less than 2.4 metres, no door or no window below grade will be permitted in any such wall;
- .c 1.2 metres where the side yard abuts a public walkway or a non-residential zone;

.8 Minimum Landscaped Open Space: 45% of the minimum front yard area, and 35% of the minimum front yard area if the extension of the side lot lines toward the front lot line results in an angle of less than 75 degrees at the front lot line.

.9 where a lot has a width greater than 13.5 metres and the width of the porch is 50%, or less, of the ground floor width of the dwelling unit, excluding any garage, the porch may encroach 2.0 metres into the minimum front yard depth.

12.1715 Exception 1715

12.1715.1 The lands shall only be used for the following purposes:

.1 shall only be used for the purposes permitted in an R1 zone.

12.1715.2 The lands shall be subject to the following requirements and restrictions:

.1 Minimum Lot Area: 330 square metres

.2 Minimum Lot Width:

- .a Interior Lot: 18.3 metres.
- .b Corner Lot: 20.1 metres.

.3 Minimum Lot Depth: 0 metres.

.4 Minimum Front Yard Depth: 6.0 metres to the front of a garage and 4.5 metres to the front wall of a dwelling.

.5 Minimum Exterior Side Yard Width: 3.0 metres, except where a garage faces the exterior side lot line, the minimum setback to the front of the garage shall be 6.0 metres.

.6 Minimum Rear Yard Depth: 7.5 metres. The rear yard depth may be reduced to a minimum of 6.0 metres, provided that the area of the rear yard is at least 25% of the minimum lot area.

.7 Minimum Interior Side Yard Width:

- .a 1.2 metres on one side and 0.6 metres on the other side.
- .b where the distance between the walls of two dwellings is less than 2.4 metres, no door or no window below grade will be permitted in any such wall;
- .c 1.2 metres where the side yard abuts a public walkway or a non-residential zone;

.8 Minimum Landscaped Open Space: 45% of the minimum front yard area, and 35% of the minimum front yard area if the extension of the side lot lines toward the front lot line results in an angle of less than 75 degrees at the front lot line.

.9 where a lot has a width greater than 13.5 metres and the width of the porch is 50%, or less, of the ground floor width of the dwelling unit, excluding any garage, the porch may encroach 2.0 metres into the minimum front yard depth.

12.1716 Exception 1716

12.1716.1 The lands shall only be used for the following purposes:

- .1 shall only be used for the purposes permitted in an R1 zone.

12.1716.2 The lands shall be subject to the following requirements and restrictions:

- .1 Minimum Lot Area: 330 square metres
- .2 Minimum Lot Width:
 - .a Interior Lot: 18.3 metres.
 - .b Corner Lot: 20.1 metres.
- .3 Minimum Lot Depth: 0 metres.
- .4 Minimum Front Yard Depth: 6.0 metres to the front of a garage and 4.5 metres to the front wall of a dwelling.
- .5 Minimum Exterior Side Yard Width: 3.0 metres, except where a garage faces the exterior side lot line, the minimum setback to the front of the garage shall be 6.0 metres.
- .6 Minimum Rear Yard Depth: 10 metres.
- .7 Minimum Interior Side Yard Width:
 - .a 1.2 metres on one side and 0.6 metres on the other side.
 - .b where the distance between the walls of two dwellings is less than 2.4 metres, no door or no window below grade will be permitted in any such wall;
 - .c 1.2 metres where the side yard abuts a public walkway or a non-residential zone;
- .8 Minimum Landscaped Open Space: 45% of the minimum front yard area, and 35% of the minimum front yard area if the extension of the side lot lines toward the front lot line results in an angle of less than 75 degrees at the front lot line.
- .9 where a lot has a width greater than 13.5 metres and the width of the porch is 50%, or less, of the ground floor width of the dwelling unit, excluding any garage, the porch may encroach 2.0 metres into the minimum front yard depth.

12.1717 Exception 1717

12.1717.1 The lands shall only be used for the following purposes:

- .1 a convenience restaurant;
- .2 the purposes permitted in LC Zone

12.1717.2 The lands shall be subject to the following requirements and restrictions:

- .1 Minimum Front Yard Depth: 6.0 metres;
- .2 Minimum Interior Side Yard Width: 3.0 metres;
- .3 Minimum Exterior Side Yard Width: 3.0 metres;
- .4 Minimum Rear Yard Depth: 3.0 metres
- .5 Minimum Lot Width: 36 metres;
- .6 Landscaped Open Space: except at approved driveway locations, a landscaped open space strip having a minimum width of 3.0 metres shall be provided along the property lines;
- .7 restaurant refuse storage shall be enclosed in a climate controlled area within a building;
- .8 the following purposes shall not be permitted:
 - .a adult entertainment parlour;
 - .b adult video store;
 - .c pool halls;
 - .d amusement arcades;
 - .e temporary open air markets;
 - .f a motor vehicle repair shop;
 - .g a motor vehicle body shop;
 - .h no storage of goods and materials outside a building; and
 - .i a restaurant drive-through facility.
- .9 a restaurant shall not be permitted within 20 metres from an R1-Exception 1711 and an R1-Exception 1713 zone.
- .10 Maximum Gross Leasable Floor Area: 1,400 square metres.

12.1718 Exception 1718

12.1718.1 The lands shall only be used for the following purposes:

- .1 shall only be used for a single detached dwelling.

12.1718.2 The lands shall be subject to the following requirements and restrictions:

- .1 the main building shall not occupy more than thirty (30) percent of the lot area;
- .2 the building area of all accessory buildings and structures, including a swimming pool covered or enclosed by a permanent structure, shall not exceed ten percent of the lot area; and,
- .3 the minimum lot area, minimum lot width, minimum lot depth, minimum side yard width, front yard and rear yard depth requirements of the R1 zone shall not apply.

12.1719 Exception 1719

12.1719.1 The lands shall only be used for the following purposes:

.1 shall only be used for the purposes permitted in an R1 zone.

12.1719.2 The lands shall be subject to the following requirements and restrictions:

.1 Minimum Lot Area: 330 square metres

.2 Minimum Lot Width:

- .a Interior Lot: 13.75 metres.
- .b Corner Lot: 15.55 metres.

.3 Minimum Lot Depth: 0 metres.

.4 Minimum Front Yard Depth: 6.0 metres to the front of a garage and 4.5 metres to the front wall of a dwelling.

.5 Minimum Exterior Side Yard Width: 3.0 metres, except where a garage faces the exterior side lot line, the minimum setback to the front of the garage shall be 6.0 metres.

.6 Minimum Rear Yard Depth: 10 metres.

.7 Minimum Interior Side Yard Width:

- .a 1.2 metres on one side and 0.6 metres on the other side.
- .b where the distance between the walls of two dwellings is less than 2.4 metres, no door or no window below grade will be permitted in any such wall;
- .c 1.2 metres where the side yard abuts a public walkway or a non-residential zone;

.8 Minimum Landscaped Open Space: 45% of the minimum front yard area, and 35% of the minimum front yard area if the extension of the side lot lines toward the front lot line results in an angle of less than 75 degrees at the front lot line.

.9 where a lot has a width greater than 13.5 metres and the width of the porch is 50%, or less, of the ground floor width of the dwelling unit, excluding any garage, the porch may encroach 2.0 metres into the minimum front yard depth.

.10 Minimum Setback from NS Zone: no permanent structures or excavations shall be located closer than 10 metres to a Natural System Zone.

.11 no permanent structures and excavations shall be located within 10 metres of the limit of the TransCanada Pipeline right-of-way.

12.1720 Exception 1720

12.1720.1 The lands shall only be used for the following purposes:

- .1 a semi-detached dwelling;
- .2 an auxiliary group home; and,
- .3 purposes accessory to the other permitted purposes.

12.1720.2 The lands shall be subject to the following requirements and restrictions:

- .1 Minimum Lot Area: 225 square metres.
- .2 Minimum Lot Width:
 - .a Interior Lot: 15.0 metres per lot and 7.5 metres per dwelling unit
 - .b Corner Lot: 16.8 metres per lot and 9.3 metres for the dwelling unit closest to the flankage lot line.
- .3 Minimum Lot Depth: 30 metres.
- .4 Minimum Front Yard Depth: 6.0 metres to the front of a garage and 4.5 metres to the front wall of a dwelling.
- .5 Minimum Exterior Side Yard Width: 3.0 metres, except where a garage faces the exterior side lot line, the minimum setback to the front of the garage shall be 6.0 metres.
- .6 Minimum Rear Yard Depth: 7.5 metres which may be reduced to a minimum of 6.0 metres for a dwelling unit, provided that the area of the rear yard is at least 25% of the minimum lot area for the particular unit.
- .7 Minimum Interior Side Yard Width: 1.2 metres, except along the common wall lot line where the setback may be 0 metres.
- .8 Minimum Landscaped Open Space:
 - .a 40% of the minimum front yard area; and,
 - .b 30% of the minimum front yard area if the acute angle at the intersection of the side lot lines extended beyond the front lot line is greater than 25 degrees.
- .9 the following provisions shall apply to garages:
 - .a the maximum garage door width per dwelling unit shall be 3.10 metres;
 - .b the garage door width may be widened by an extra 0.6 metres if the front of the garage is not more than 2.5 metres closer to the front lot line than the ground floor main entrance of the dwelling unit;

- .c the garage door width restriction does not apply to the garage door facing a flankage lot line; and,
- .d the interior garage width as calculated 3 metres from the garage opening shall not exceed 0.6 metres more than the maximum garage door width permitted on the lot.

.10 Minimum Setback From NS Zone: no dwelling, building or structure, including fill that is not for the purposes of flood erosion control or resource management, shall be located closer than 10 metres to an NS Zone.

12.1721 Exception 1721

12.1721.1 The lands shall only be used for the following purposes:

.1 shall only be used for the purposes permitted in an R1 zone.

12.1721.2 The lands shall be subject to the following requirements and restrictions:

.1 Minimum Lot Area: 360 square metres.

.2 Minimum Lot Width:

- .a Interior Lot: 12.0 metres.
- .b Corner Lot: 13.8 metres.

.3 Minimum Lot Depth: 30 metres.

.4 Minimum Front Yard Depth: 6.0 metres to the front of a garage and 4.5 metres to the front wall of a dwelling.

.5 Minimum Exterior Side Yard Width: 3.0 metres, except where a garage faces the exterior side lot line, the minimum setback to the front of the garage shall be 6.0 metres.

.6 Minimum Rear Yard Depth: 7.5 metres which may be reduced to a minimum of 6.0 metres provided that the area of the rear yard is at least 25% of the minimum required lot area.

.7 Minimum Interior Side Yard Width:

- .a 0.6 metres, provided the combined total of the interior side yards on an interior lot is not less than 1.8 metres.
- .b 1.2 metres where the side yard abuts a public walkway or a non-residential zone.

.8 Minimum Landscaped Open Space:

- .a 40% of the minimum front yard area; and,
- .b 30% of the minimum front yard area if the acute angle at the intersection of the side lot lines extended beyond the front lot line is greater than 25 degrees.

.9 the following provisions shall apply to garages:

- .a the maximum garage door width shall be 5.5 metres;
- .b the garage door width may be widened by an extra 0.6 metres if the front of the garage is not more than 2.5 metres closer to the front lot line than the ground floor main entrance of the dwelling unit;
- .c the garage door width restriction does not apply to the garage door facing a flankage lot line; and,

- .d the interior garage width as calculated 3 metres from the garage opening shall not exceed 0.6 metres more than the maximum garage door width permitted on the lot.

.10 Minimum Setback From NS Zone: no dwelling, building or structure, including fill that is not for the purposes of flood erosion control or resource management, shall be located closer than 10 metres to an NS Zone.

12.1722 Exception 1722

12.1722.1 The lands shall only be used for the following purposes:

- .1 shall only be used for the purposes permitted in an R1 zone.

12.1722.2 The lands shall be subject to the following requirements and restrictions:

- .1 Minimum Lot Area: 300 square metres.
- .2 Minimum Lot Width:
 - .a Interior Lot: 10.0 metres
 - .b Corner Lot: 11.8 metres.
- .3 Minimum Lot Depth: 30 metres.
- .4 Minimum Front Yard Depth: 6.0 metres to the front of a garage and 4.5 metres to the front wall of a dwelling.
- .5 Minimum Exterior Side Yard Width: 3.0 metres, except where a garage faces the exterior side lot line, the minimum setback to the front of the garage shall be 6.0 metres.
- .6 Minimum Rear Yard Depth: 7.5 metres which may be reduced to a minimum of 6.0 metres provided that the area of the rear yard is at least 25% of the minimum required lot area.
- .7 Minimum Interior Side Yard Width:
 - .a 0.6 metres, provided the combined total of the interior side yards on an interior lot is not less than 1.8 metres.
 - .b 1.2 metres where the side yard abuts a public walkway or a non-residential zone.
- .8 Minimum Landscaped Open Space:
 - .a 40% of the minimum front yard area; and,
 - .b 30% of the minimum front yard area if the acute angle at the intersection of the side lot lines extended beyond the front lot line is greater than 25 degrees.
- .9 the following provisions shall apply to garages:
 - .a the maximum garage door width shall be 3.1 metres; except where the lot exceeds 10.36 metres in width and is less than 11.0 metres in width in which case the maximum garage door width shall be 4.12 metres; and except where the lot is 11.0 metres or greater in width in which case the maximum garage door width shall be 5.5 metres.
 - .b the garage door width may be widened by an extra 0.6 metres if the front of the garage is not more than 2.5 metres closer to the front lot line than the ground floor main entrance of the dwelling unit;

- .c the garage door width restriction does not apply to the garage door facing a flankage lot line; and,
- .d the interior garage width as calculated 3 metres from the garage opening shall not exceed 0.6 metres more than the maximum garage door width permitted on the lot.

.10 Minimum Setback From NS Zone: no dwelling, building or structure, including fill that is not for the purposes of flood erosion control or resource management, shall be located closer than 10 metres to an NS Zone.

12.1723 Exception 1723

12.1723.1 The lands shall only be used for the following purposes:

- .1 a retail establishment having no outside storage;
- .2 a service shop;
- .3 a bank, trust company, finance company;
- .4 an office;
- .5 a dry-cleaning and laundry distribution station;
- .6 a laundromat;
- .7 a parking lot;
- .8 a health centre;
- .9 a grocery store; or,
- .10 a children's mental health centre.

12.1723.2 The lands shall be subject to the following requirements and restrictions:

- .1 facilities for the overnight accommodation of staff or patients shall not be permitted in a children's mental health centre.

12.1723.3 for the purposes of Exception 1723:

- .1 Children's Mental Health Centre shall mean a building or place maintained and operated to provide services for children suffering from mental, emotional, or psychiatric disorders or any combination thereof, which has been approved under the Children's Mental Health Services Act (R. S. O. 1980, C.69, as amended).

12.1724 Exception 1724

12.1724.1 The lands shall only be used for the following purposes:

.1 shall be used only for those purposes permitted in an R1 zone.

12.1724.2 The lands shall be subject to the following requirements and restrictions:

.1 Minimum Street Centre Line Setback: 13 metres, provided that the minimum distance to the front of the garage is 14.5 metres.

.2 Minimum Side Yard Width:

- .a adjacent to the north and south zone boundary, 1.2 metres for a one storey dwelling; and 0.1 metres for each additional storey or part thereof;
- .b otherwise, 0.9 metres, provided that where the space between the walls of two dwellings is less than 2.4 metres, no window below grade or door will be permitted in any wall abutting that space.

.3 Maximum Building Height: two storeys

12.1726 Exception 1726

12.1726.1 The lands shall only be used for the following purposes:

- .1 those purposes permitted in the GE zone,
- .2 a concrete batching plant, and;
- .3 purposes accessory to the other permitted purposes.

12.1726.2 The lands shall be subject to the following requirements and restrictions:

- .1 Outside Storage:
 - .a no storage shall be permitted outside a building, except where such storage is confined to the rear yard;
 - .b the maximum height of any materials stored outside shall be 6.0 metres; and,
 - .c outside storage shall be screened from any abutting Open Space zone by an opaque fence having a minimum height of 1.8 metres.

12.1728 Exception 1728

12.1728.1 The lands shall only be used for the following purposes:

- .1 those purposes permitted in the GC zone to this by-law, except for an amusement arcade; and,
- .2 movie theatres.

12.1728.2 The lands shall be subject to the following requirements and restrictions:

- .1 movie theatres shall only be permitted up to an aggregate maximum of 3 screens and 780 seats;

12.1729 Exception 1729

12.1729.1 The lands shall only be used for the following purposes:

- .1 single detached dwelling.

12.1729.2 The lands shall be subject to the following requirements and restrictions:

- .2 nothing in this Exception shall prevent the occupant of a single detached dwelling from carrying on any domestic or household art not affecting the amenity of the neighbourhood or a professional person from occupying one or more rooms as an office, providing there is no display of goods or advertising other than a plaque no larger than 0.09 square metres;
- .1 no dwelling shall have a floor area, exclusive of basement, verandah, garage, or attic, of less than seventy-four (74) square metres, and shall be of brick, brick veneer, stone or stucco over masonry construction; and,
- .2 every residence shall be constructed on land having a lot width of at least eighteen (18) metres.

12.1729.3 for the purposes of Exception 1729:

- .3 for the purposes of this Exception, a Single Detached Dwelling is defined as a building occupied, or intended to be occupied, as a dwelling by one family alone, and containing only one kitchen and may include a private garage and other accessory buildings.

12.1730 Exception 1730

12.1730.1 The lands shall only be used for the following purposes:

.1 shall only be used for the purposes identified in the PE zone.

12.1730.2 The lands shall be subject to the following requirements and restrictions:

.1 Maximum Gross Commercial Floor Area devoted to an accessory office shall be restricted to 5% of the gross floor area of the entire building, to a maximum of 465 square metres;

.2 Landscaped Open Space having minimum width of 9.0 metres shall be provided and maintained along Airport Road except at approved driveway locations;

.3 Landscaped Open Space having minimum widths of 3.0 metres shall be provided and maintained along all other road except any road abutting the south property line and at approved driveway locations;

.4 a 9.0 metre wide landscaped area shall be provided along the road abutting the south property line, except at approved driveway locations;

.5 there shall be no overhead doors within 60 metres of Airport Road;

.6 there shall be no overhead doors on a building wall that faces Airport Road;

.7 Screening:

- .a all waste disposal facilities, including containers for recyclable materials, shall be screened from Airport Road;
- .b all rooftop units located within 90 metres from Airport Road shall be screened in their entirety.

.8 Parking: truck parking and loading/unloading areas shall not be located within 60 metres of Airport Road;

.9 Accessory Buildings: no accessory building(s) shall be located within 60 metres of Airport Road.

12.1731 Exception 1731

12.1731.1 The lands shall only be used for the following purposes:

- .1 shall only be used for the purposes permitted in an R1 zone.

12.1731.2 The lands shall be subject to the following requirements and restrictions:

- .1 Minimum Lot Area: 530 square metres
- .2 Minimum Lot Width:
 - .a Interior Lot: 18.3 metres.
 - .b Corner Lot: 20.1 metres.
- .3 Minimum Lot Depth: 29.0 metres.
- .4 Minimum Front Yard Depth: 6.0 metres to the front of a garage and 4.5 metres to the front wall of a dwelling.
- .5 Minimum Exterior Side Yard Width: 3.0 metres, except where a garage faces the exterior side lot line, the minimum setback to the front of the garage shall be 6.0 metres.
- .6 Minimum Rear Yard Depth: 7.5 metres which may be reduced to a minimum of 6.0 metres provided that the area of the rear yard is at least 25% of the minimum required lot area.
- .7 Minimum Interior Side Yard Width:
 - .a 0.6 metres, provided the combined total of the interior side yards on an interior lot is not less than 1.8 metres.
 - .b 1.2 metres where the side yard abuts a public walkway or a non-residential zone.
- .8 Minimum Landscaped Open Space:
 - .a 40% of the minimum front yard area; and,
 - .b 30% of the minimum front yard area if the acute angle at the intersection of the side lot lines extended beyond the front lot line is greater than 25 degrees.
- .9 no garage shall project into the front yard more than 1.5 metres beyond a porch or front wall of a dwelling.
- .10 no dwelling or inground swimming pool shall be located closer than 7.5 metres to the TransCanada Pipeline Easement.

12.1732 Exception 1732

12.1732.1 The lands shall only be used for the following purposes:

.1 shall only be used for the purposes permitted in an R1 zone.

12.1732.2 The lands shall be subject to the following requirements and restrictions:

.1 Minimum Lot Area: 475 square metres

.2 Minimum Lot Width:

- .a Interior Lot: 18.3 metres.
- .b Corner Lot: 20.1 metres.

.3 Minimum Lot Depth: 26.0 metres.

.4 Minimum Front Yard Depth: 6.0 metres to the front of a garage and 4.5 metres to the front wall of a dwelling.

.5 Minimum Exterior Side Yard Width: 3.0 metres, except where a garage faces the exterior side lot line, the minimum setback to the front of the garage shall be 6.0 metres.

.6 Minimum Rear Yard Depth: 7.5 metres which may be reduced to a minimum of 6.0 metres provided that the area of the rear yard is at least 25% of the minimum required lot area.

.7 Minimum Interior Side Yard Width:

- .a 0.6 metres, provided the combined total of the interior side yards on an interior lot is not less than 1.8 metres.
- .b 1.2 metres where the side yard abuts a public walkway or a non-residential zone.

.8 Minimum Landscaped Open Space:

- .a 40% of the minimum front yard area; and,
- .b 30% of the minimum front yard area if the acute angle at the intersection of the side lot lines extended beyond the front lot line is greater than 25 degrees.

.9 no garage shall project into the front yard more than 1.5 metres beyond a porch or front wall of a dwelling.

12.1733 Exception 1733

12.1733.1 The lands shall only be used for the following purposes:

- .1 shall only be used for the purposes permitted in an R1 zone.

12.1733.2 The lands shall be subject to the following requirements and restrictions:

- .1 Minimum Lot Area: 512 square metres
- .2 Minimum Lot Width:
 - .a Interior Lot: 18.3 metres.
 - .b Corner Lot: 20.1 metres.
- .3 Minimum Lot Depth: 28.0 metres.
- .4 Minimum Front Yard Depth: 6.0 metres to the front of a garage and 4.5 metres to the front wall of a dwelling.
- .5 Minimum Exterior Side Yard Width: 3.0 metres, except where a garage faces the exterior side lot line, the minimum setback to the front of the garage shall be 6.0 metres.
- .6 Minimum Rear Yard Depth: 7.5 metres which may be reduced to a minimum of 6.0 metres provided that the area of the rear yard is at least 25% of the minimum required lot area.
- .7 Minimum Interior Side Yard Width:
 - .a 0.6 metres, provided the combined total of the interior side yards on an interior lot is not less than 1.8 metres.
 - .b 1.2 metres where the side yard abuts a public walkway or a non-residential zone.
- .8 Minimum Landscaped Open Space:
 - .a 40% of the minimum front yard area; and,
 - .b 30% of the minimum front yard area if the acute angle at the intersection of the side lot lines extended beyond the front lot line is greater than 25 degrees.
- .9 no garage shall project into the front yard more than 1.5 metres beyond a porch or front wall of a dwelling.
- .10 no dwelling or inground swimming pool shall be located closer than 10 metres to a Natural System zone.

12.1734 Exception 1734

12.1734.1 The lands shall only be used for the following purposes:

.1 shall only be used for the purposes permitted in an R1 zone.

12.1734.2 The lands shall be subject to the following requirements and restrictions:

.1 Minimum Lot Area: 512 square metres

.2 Minimum Lot Width:
Interior Lot: 18.3 metres.
Corner Lot: 20.1 metres.

.3 Minimum Lot Depth: 28 metres.

.4 Minimum Front Yard Depth: 6.0 metres to the front of the garage and 4.5 metres to the front wall of the dwelling.

.5 Minimum Exterior Side Yard Width: 3.0 metres, except where a garage

.6 faces the exterior side lot line, the minimum setback to the front of the garage shall be 6.0 metres.

.7 Minimum Interior Side Yard Width: 0.6 metres.

.8 Minimum Rear Yard Depth: 7.5 metres, which may be reduced to a minimum of 6.0 metres, provided that the area of the rear yard is at least 25% of the minimum required lot area.

.9 Minimum Landscaped Open Space:
.a 40% of the minimum front yard area; and,
.b 30% of the minimum front yard area if the acute angle at the intersection of the side lot lines extended beyond the front lot line is greater than 25 degrees;

.10 no garage shall project into the front yard more than 1.5 metres beyond a porch or front wall of a dwelling.

.11 no dwelling or inground swimming pool shall be located closer than 10 metres to a Natural System zone.

.12 no dwelling or inground swimming pool shall be located closer than 3.25 metres to the TransCanada Pipeline easement.

12.1735. Exception 1735

12.1735.1 The lands shall only be used for the following purposes:

- .1 Industrial:
 - .a a warehouse;
 - .b the manufacturing, cleaning, packaging, processing, repairing or assembly of goods, foods or materials within an enclosed building; and,
- .2 Non-Industrial
 - .a an office;
 - .b a hotel;
 - .c a conference centre;
 - .d only in conjunction with the uses permitted in Excepion.12.1735.1.(2)(a), (b) and (c), to a maximum of 15 per cent of the floor area of the principle use, the following purposes:
 - .i a bank, trust company or financial institution;
 - .ii a retail establishment;
 - .iii a convenience store;
 - .iv a banquet hall;
 - .v dry cleaning and laundry establishment;
 - .vi a dining room restaurant, a take-out restaurant, a convenience restaurant;
 - .vii a service shop;
 - .viii a personal service shop, but excluding a massage or body rub parlour;
 - .ix a printing or copying establishment;
 - .x a commercial school;
 - .xi a community club;
 - .xii a health centre; and,
 - .xiii a day nursery;
 - .e a park, playground, recreational facility or structure;
 - .f the purposes permitted by the Natural System (NS) zone;
 - .g the purposes permitted by the Open Space (OS) zone;
 - .h a radio or television broadcasting and transmission establishment; and,

.3 Purposes accessory to other permitted purposes, including:

- .a an associated educational use;
- .b an associated office; and,
- .c a retail outlet operated in connection with a particular purpose permitted by sections 12.1735.1.1.(a) and (b), provided that the total gross commercial floor area of the retail outlet is not more than 15 percent of the total gross industrial floor area of the particular industrial use.

12.1735.2 The lands shall be subject to the following requirements and restrictions:

- .1 Minimum Lot Area: 0.8 hectares;
- .2 Minimum Lot Width: 60.0 metres;
- .3 Minimum Lot Depth: 45 metres;
- .4 Minimum Front Yard Depth: 6.0 metres;
- .5 Minimum Interior Side Yard Width: 3.0 metres;
- .6 Minimum Exterior Side Yard Width: 6.0 metres;
- .7 Minimum Rear Yard Depth: 6.0 metres;
- .8 Maximum Building Height: No requirement
- .9 Minimum Building Height: 8.0 metres;
- .10 Minimum Landscaped Open Space, except at approved driveway locations:
 - .a a width of 3.0 metres along Coleraine Drive and Countryside Drive; and,
 - .b no landscaped open space is required along a lot line that abuts a RE zone, or an agricultural zone, or an industrial zone;
- .11 Minimum Parking Requirements:
 - .a If the associated office, retail and education floor areas are 15% or less of the total gross floor area of the buildings, 700 spaces or 1 space for each 162 square metres of gross floor area, whichever is less, shall be required for the first 113,613 square metres of gross floor area; and,
 - .b The applicable parking requirements of this By-law shall otherwise apply to any gross floor area in excess of 113,613 square metres.
- .12 The openings for waste disposal and loading facilities of any building shall face away from a public street, or shall be screened; from public view
- .13 Outside Storage shall only be permitted as an accessory use in the rear, interior and exterior side yards, subject to the following criteria:

- .a outside storage of goods and materials shall be restricted to areas not required for parking or landscaping;
- .b outside storage of goods and materials shall not exceed the lesser of 10% of the lot or 20% of the building area; and,
- .c outside storage shall be screened from public view by architectural screening, landscape buffer, building placement, berms, or a combination of such treatments;

.14 All garbage and refuse storage, including containers for the storage of recyclable materials, shall be screened within an enclosure constructed from materials that are compatible with the main building.

.15 Notwithstanding Section 30.6, fencing is permitted within the front yard to a maximum height of 1.8 metres;

.16 For the purposes Exception 1735

- .a FRONT LOT LINE shall mean the lot line abutting Highway 50;

.17 For the purpose of this Exception, all lands zoned 1735 shall be treated as one lot for zoning purposes

12.1735.3 for the purposes of Exception 1735:

.1 Conference Centre shall mean a building or place which is used for the assembly of persons for private or public activities of a religious, political, charitable, educational, social, business, cultural, recreational, and like purposes, and may include media communication and dining room facilities accessory to the main assembly function, but shall not include a public or private school or a religious institution.

12.1736 Exception 1736

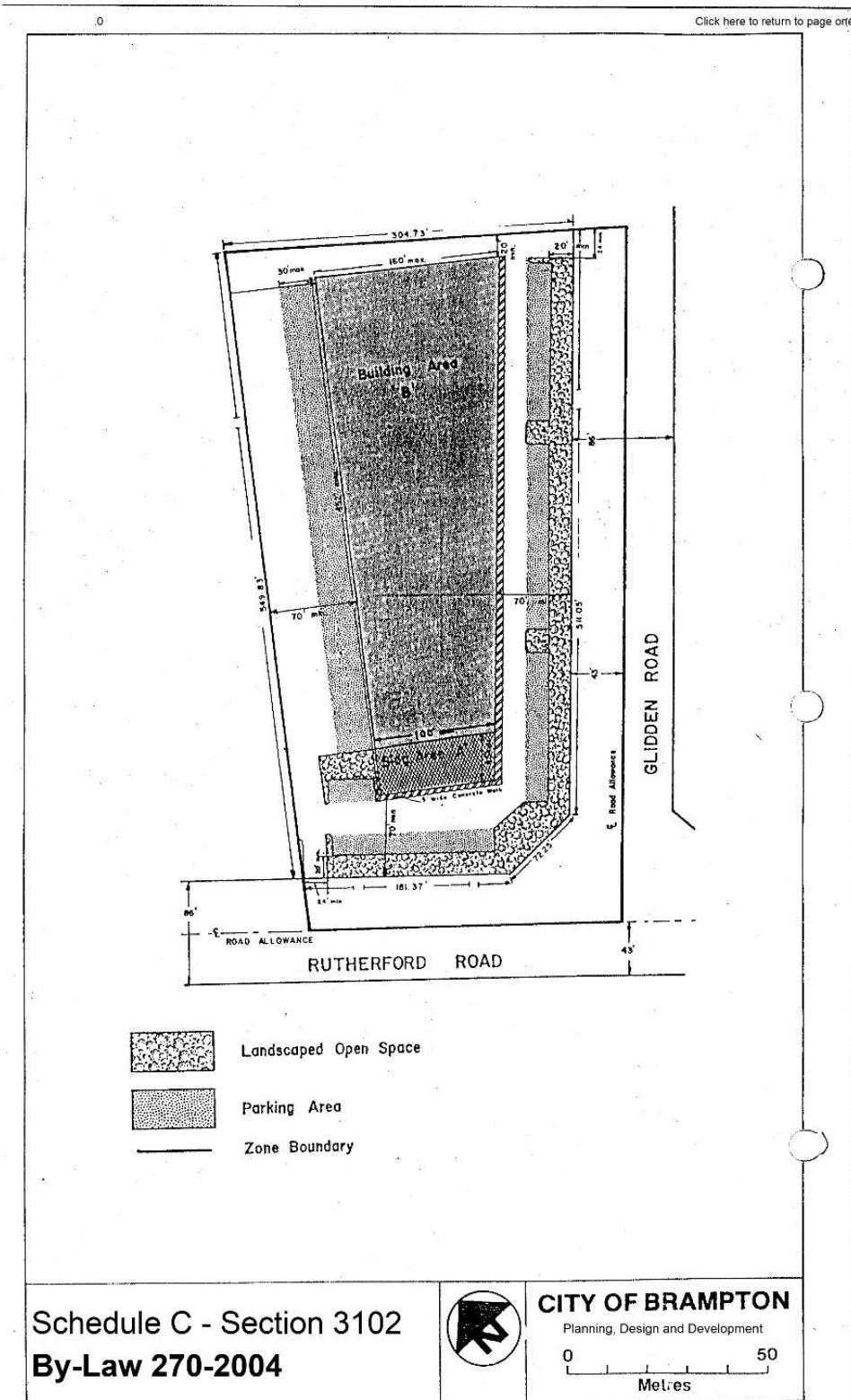
12.1736.1 The lands shall only be used for the following purposes:

- .1 the purposes permitted in the PE zone of this by-law; and,
- .2 a bank.

12.1736.2 The lands shall be subject to the following requirements and restrictions:

- .1 the location of a bank shall be limited to the area shown as Building Area A on Figure 1- Exception 1736 to this by-law;
- .2 the area of any structure or building to be occupied by the bank shall be restricted to a maximum of 30.4 metres by 13.6 meters as shown on Figure 1- Exception 1736 of this by-law;
- .3 a minimum of twenty-one (21) parking spaces shall be provided for the exclusive use of the bank employees and customers, and such parking shall be in addition to any parking required in this by-law for the other uses located on the said lands;
- .4 a pedestrian walkway of 1.5 metres shall be provided along the westerly and southerly sides of the bank building;
- .5 Landscaped Open Space as shown on Figure 1- Exception 1736 to this by-law shall be provided and maintained;
- .6 the Maximum Height of any structure of building to be located on the said land shall be one (1) storey above established grade;
- .7 the Minimum Yard requirements shall be as shown on Figure 1- Exception 1736 to this bylaw;
- .8 Loading and Unloading shall be permitted only along the northerly side of any structure or building to be located on the said lands;
- .9 Open Storage of goods and raw materials shall be prohibited.

Figure 1



12.1737 Exception 1737

12.1737.1 The lands shall only be used for the following purposes:

- .1 an office excluding an office for a physician, dentist or drugless practitioner
- .2 a commercial, technical or recreational school
- .3 only on the ground floor:
 - .a a retail establishment having no outside storage;
 - .b a service shop;
 - .c a personal service shop;
 - .d a bank, trust and finance company;
 - .e a dry cleaning and laundry distribution station;
 - .f a laundromat;
 - .g a dining room restaurant or take out restaurant;
 - .h a printing or copying establishment;
 - .i a health or fitness centre;
 - .j a custom workshop;
- .4 Purposes accessory to the other permitted uses

12.1737.2 The lands shall be subject to the following requirements and restrictions:

- .1 Minimum Lot Area: 2.06 hectares
- .2 Minimum Lot Width: 90 metres
- .3 Maximum Gross Commercial Floor Area: 12,500 square metres
- .4 Maximum Floor Space Index: 0.75
- .5 Minimum Front Yard Depth: 3 metres
- .6 Minimum Exterior Side Yard Width: 3 metres
- .7 Minimum Interior Side Yard Width: 7.5 metres
- .8 Maximum Building Height: 9 storeys
- .9 Minimum Number of Parking Spaces: 428
- .10 a drive-through facility is not permitted in conjunction with an permitted use.

.11 the combined total gross commercial floor area for restaurants shall not exceed 300 square metres

12.1737.3 for the purposes of Exception 1737

- .1 for the purposes of this by-law, the front lot line shall be the lot line abutting Rutherford Road South
- .2 for the purposes of this by-law, the Floor Space Index shall be calculated by using the definition of Gross Commercial Floor Area to determine the building area and only on the lands zoned LC - Exception 1737
- .3 The lands zoned LC - Exception 1737 shall be considered one lot for zoning purposes, except for the purposes of required parking.

12.1738 Exception 1738

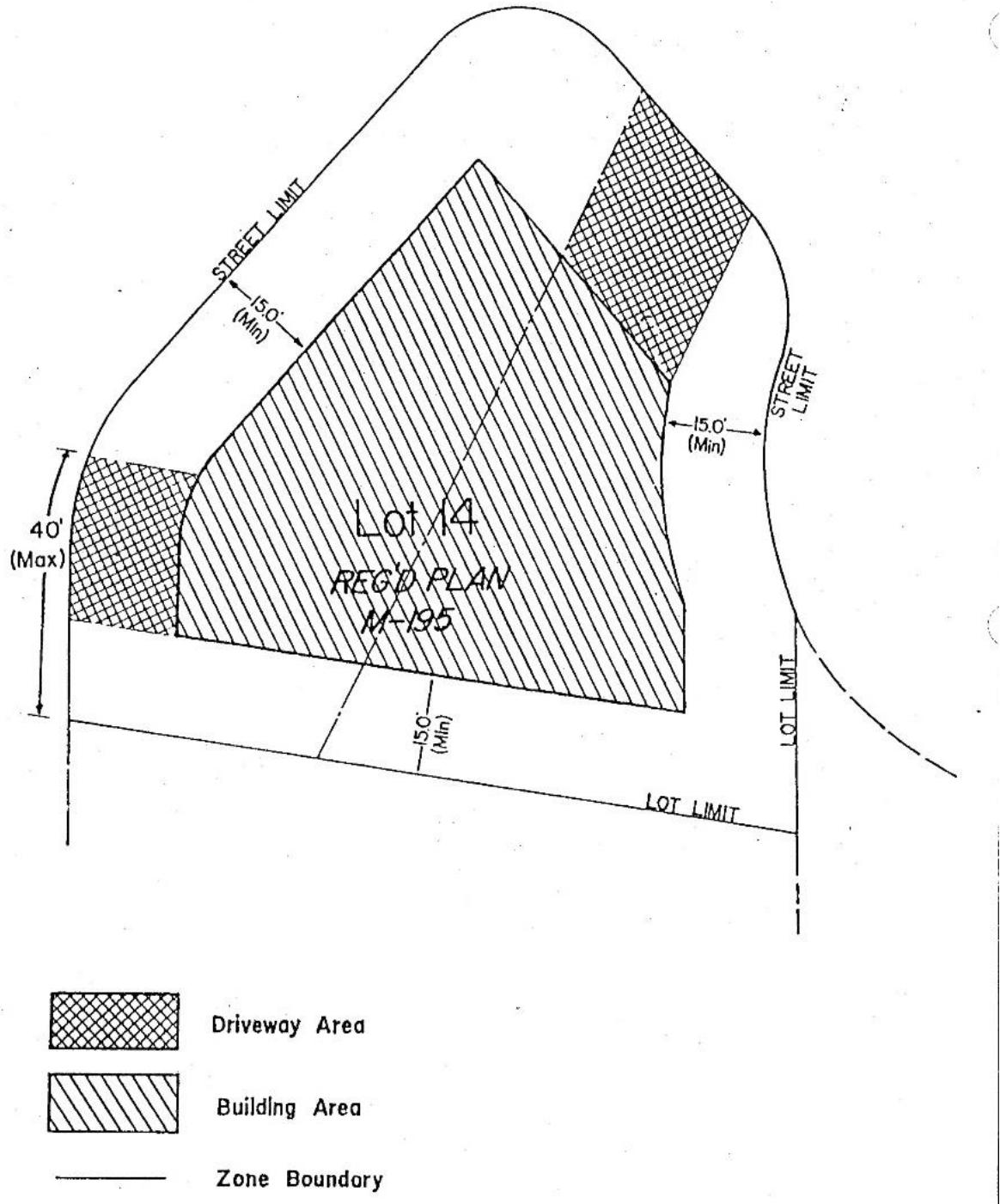
12.1738.1 The lands shall only be used for the following purposes:

- .1 shall only be used for the purposes permitted in an R1 zone.

12.1738.2 The lands shall be subject to the following requirements and restrictions:

- .1 a semi-detached dwelling shall only be erected within the area shown a Building Area on Figure 1-Exception 1738 to this by-law;
- .2 the yard requirements shall conform to those shown on Figure 1 - Exception 1738 to this by-law; and,
- .3 a driveway shall be located as shown on Figure 1- Exception 1738 to this by-law.

Figure 1



12.1739 Exception 1739

12.1739.1 The lands shall only be used for the following purposes:

- .1 townhouse dwelling;
- .2 a recreation centre; and,
- .3 purposes accessory to the other permitted purposes.

12.1739.2 The lands shall be subject to the following requirements and restrictions:

- .1 Maximum Coverage of all townhouse dwellings shall be thirty (30) percent of the lot area;
- .2 Maximum Number of townhouse dwellings shall be four hundred and fifty-one (451);
- .3 Maximum Building Height: 10.6 metres;
- .4 Minimum Landscaped Open Space: fifty (50) percent of the lot area;
- .5 a driveway leading to a private garage shall be considered as provided one (1) parking space, providing that the distance between the edge of the private roadway and the front walk of the garage is not less than six (6) metres;
- .6 all areas containing more than two (2) parking spaces shall have direct and unobstructed access to and from a public street by means of a driveway.

12.1740 Exception 1740

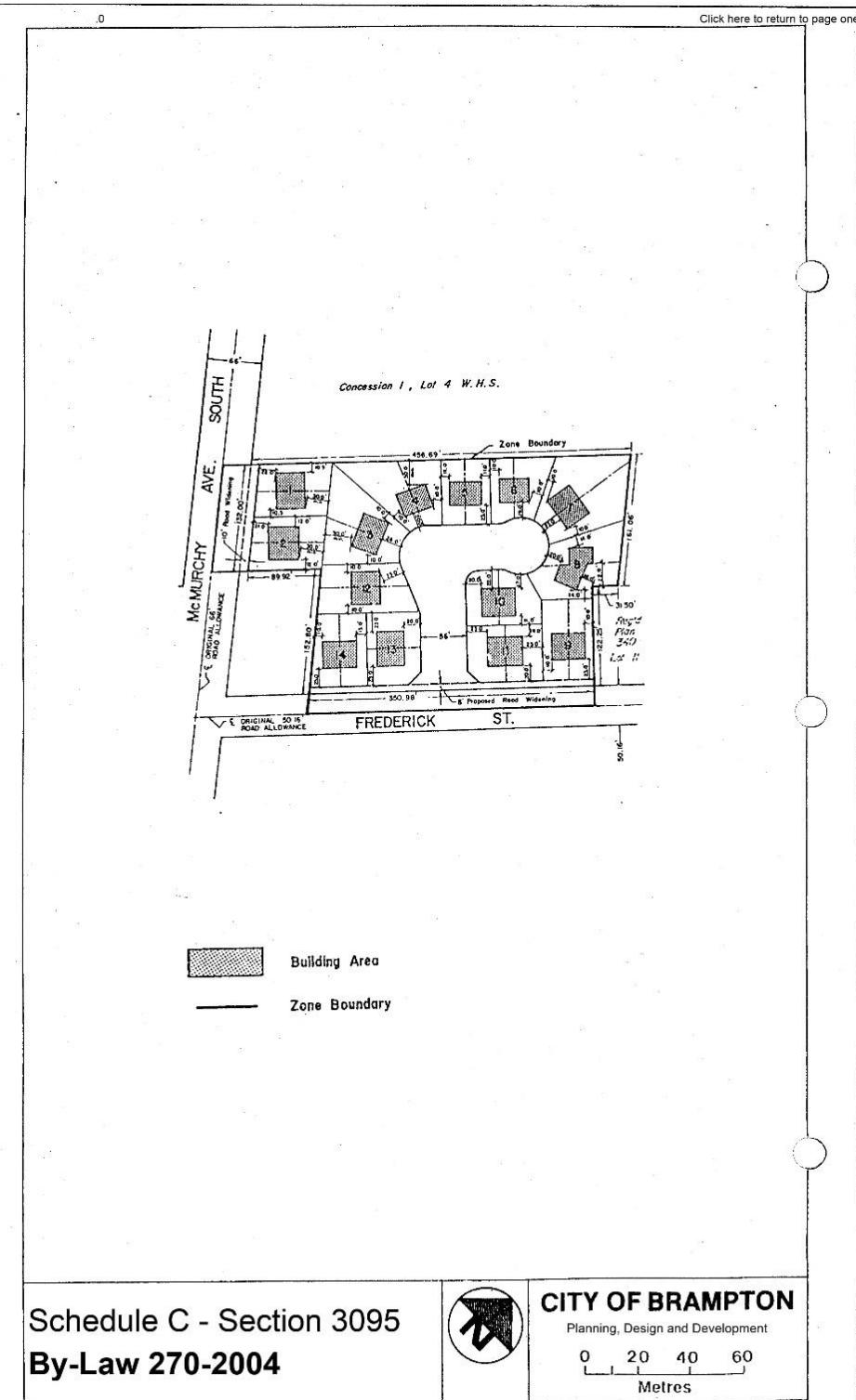
12.1740.1 The lands shall only be used for the following purposes:

- .1 semi-detached dwellings; and,
- .2 purposes accessory to the other permitted purpose.

12.1740.2 The lands shall be subject to the following requirements and restrictions:

- .1 Lot Area Requirements:
 - .a Interior Lot:
 - .i Minimum Lot Area per semi-detached: 445 square metres;
 - .ii Minimum Lot Area per semi-detached unit: 210 square metres.
 - .b Exterior Lot:
 - .i Minimum Lot Area per semi-detached dwelling: 510 square metres;
 - .ii Minimum Lot Area per semi-detached dwelling unit: 260 square metres;
- .2 the minimum setbacks, minimum required rear yard depth and minimum required side yard width shall be as shown on Figure 1- Exception 1740 to this by-law provided that the distances shall vary by not more than 0.4 metre less than the measurement shown;
- .3 each semi-detached unit shall only be erected within the area shown as Building Area on Figure 1- Exception 1740 to this by-law;
- .4 the Maximum Coverage on each semi-detached lot shall not exceed thirty-five (35) percent of the lot area;
- .5 the Minimum Gross Floor Area for each semi-detached unit shall be seventy-four (74) square metres;
- .6 the Maximum Building Height shall be two and one half (2 1/2) storeys or eight (8) metres, whichever is the lesser; and,
- .7 a minimum of 50 percent of the required front yard shall be maintained as landscaped open space.

Figure 1



12.1741 Exception 1741

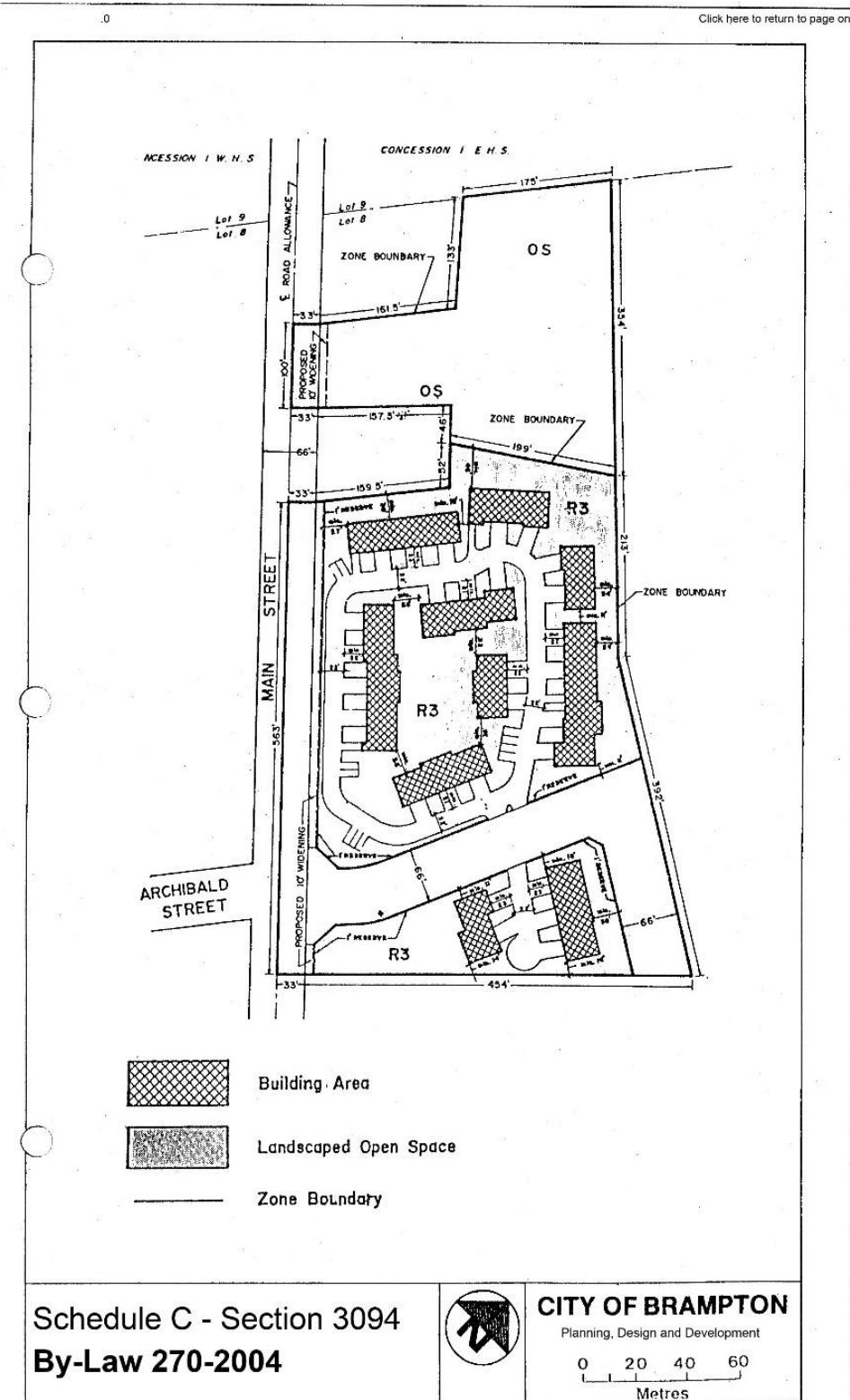
12.1741.1 The lands shall only be used for the following purposes:

- .1 townhouse dwellings.

12.1741.2 The lands shall be subject to the following requirements and restrictions:

- .1 no more than sixty (60) townhouse dwelling units shall be erected on the site;
- .2 the Minimum Yard Requirements shall be as shown on Figure 1- Exception 1741 to this by-law;
- .3 townhouse dwelling units shall only be erected within the area defined as Building Area on Figure 1- Exception 1741 to this by-law;
- .4 the Maximum Coverage of the townhouse dwellings shall not exceed twenty-five (25) percent of the lot area;
- .5 the Minimum Gross Floor Area per dwelling unit shall be 83 square metres;
- .6 Off-street Parking facilities shall be provided for each dwelling unit on the basis of two (2) parking spaces per unit, one of which shall be provided within the unit and one in the driveway of the unit; and,
- .7 Off-street Parking facilities shall be provided for visitor of guest parking on the basis of one (1) parking space for each five (5) dwelling units and the aforesaid parking facilities shall be signed accordingly and shall be located as shown on Figure 1- Exception 1741 to this by-law.

Figure 1



12.1742 Exception 1742

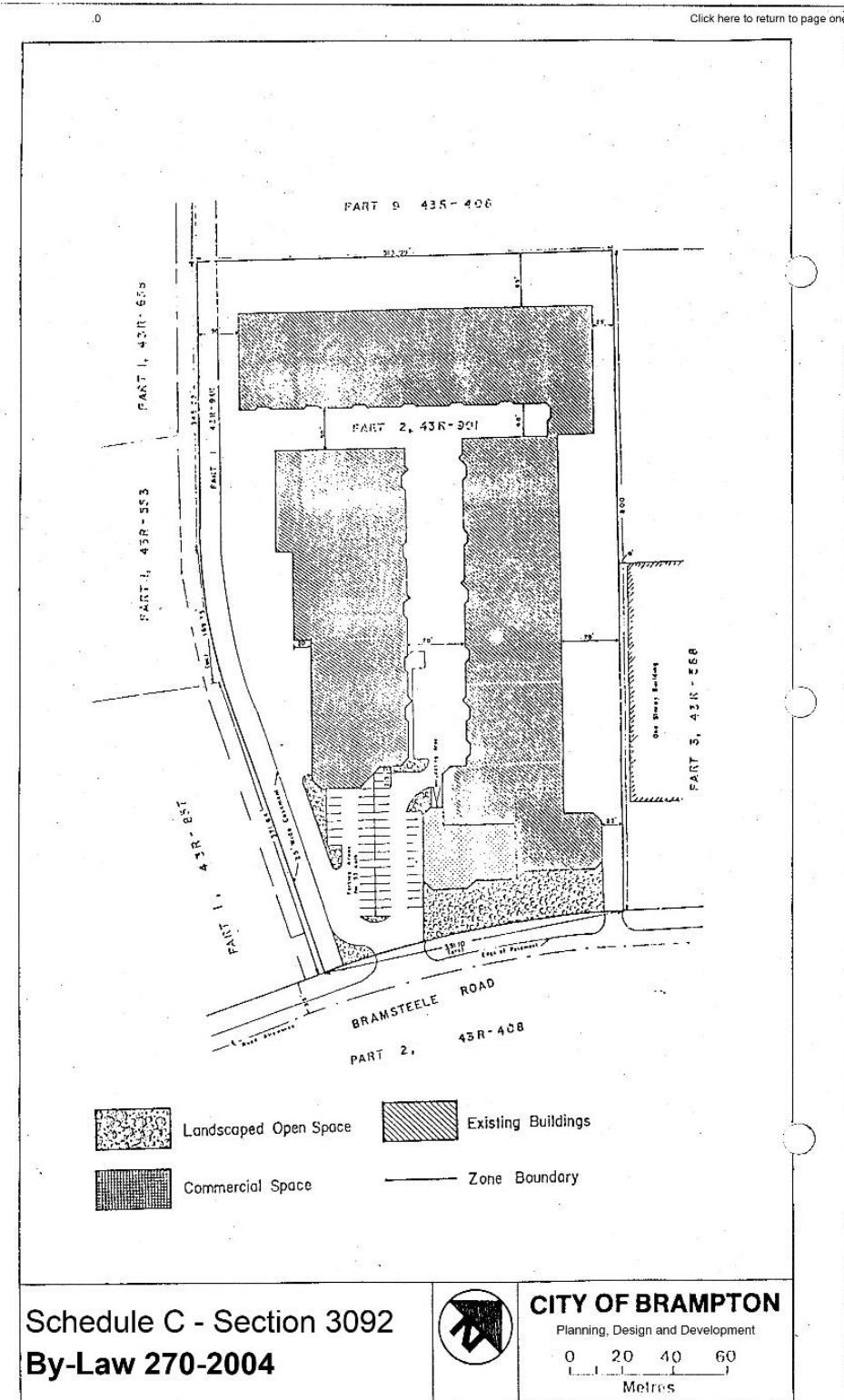
12.1742.1 The lands shall only be used for the following purposes:

- .1 a restaurant;
- .2 a bank; and,
- .3 the PE zone uses.

12.1742.2 The lands shall be subject to the following requirements and restrictions:

- .1 the Maximum Gross Floor Area of the restaurant shall not exceed 506 square metres and the maximum gross floor area of the bank shall not exceed 246 square metres;
- .2 not less than 53 off-street parking spaces shall be provided and shall occupy an area indicated as Parking Areas for 53 cars as shown on Figure 1- Exception 1742 to this by-law;
- .3 Landscaped Open Space shall be provided and shall occupy an area indicated as Landscaped Open Space as shown on Figure 1- Exception 1742 to this by-law; and,
- .4 at least one loading area shall be provided for the restaurant and shall occupy an area indicated as Loading Area and shown on Figure 1- Exception 1742 to this by-law.

Figure 1



12.1743 Exception 1743

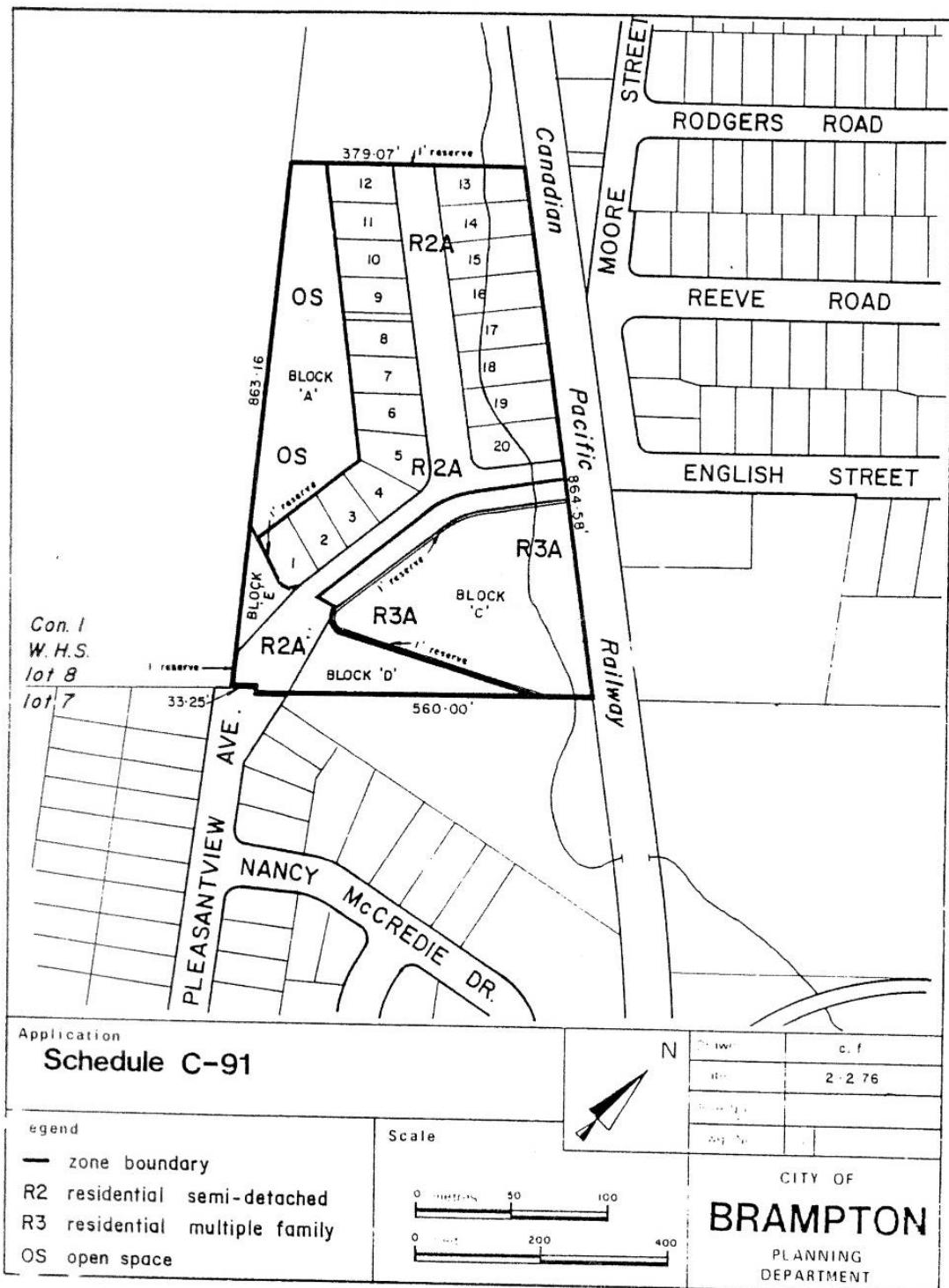
12.1743.1 The lands shall only be used for the following purposes:

- .1 townhouse dwellings; and,
- .2 purposes accessory to the other permitted purpose.

12.1743.2 The lands shall be subject to the following requirements and restrictions:

- .1 the Minimum Lot Area per townhouse dwelling unit shall be 270 square metres;
- .2 the Maximum Number of townhouse dwellings units shall be thirty (30);
- .3 the Minimum Gross Floor Area of each townhouse dwelling unit shall be 83 square metres;
- .4 the Minimum Yard Requirements shall be as shown on Figure 1- Exception 1743 to this by-law; and,
- .5 Maximum Coverage shall not exceed thirty (30) percent of the lot area.

Figure 1



12.1744 Exception 1744

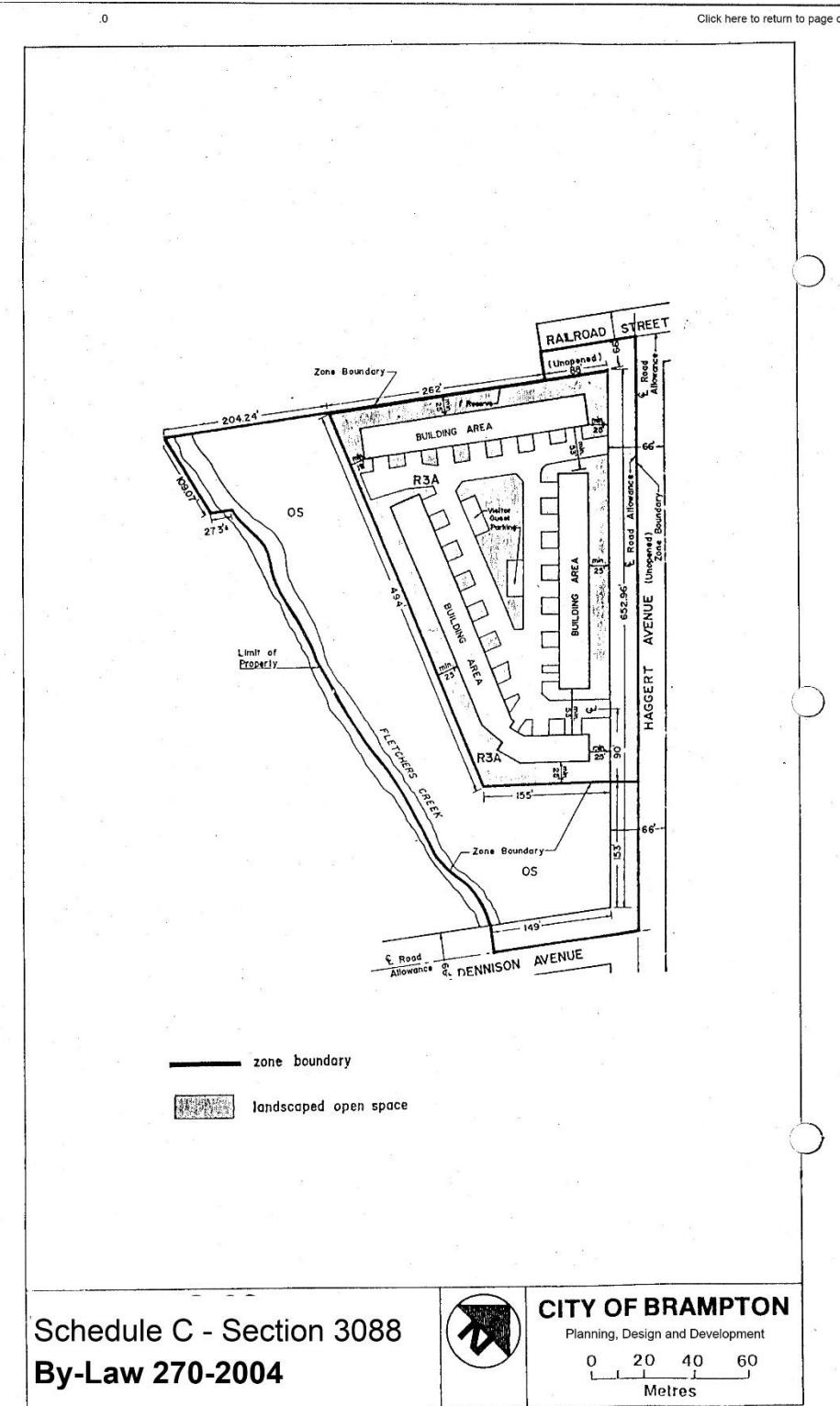
12.1744.1 The lands shall only be used for the following purposes:

- .1 townhouse dwelling; and,
- .2 purposes accessory to the other permitted purpose.

12.1744.2 The lands shall be subject to the following requirements and restrictions:

- .1 no more than forty-seven (47) dwelling units shall be erected on the site;
- .2 the minimum front, side and rear yard dimensions and the minimum separation between townhouse dwellings shall be as shown on Figure 1- Exception 1744 to this by-law;
- .3 a townhouse dwelling shall only be erected within each area shown as a Building Area on Figure 1- Exception 1744 to this by-law;
- .4 off-street parking facilities shall be provided for each townhouse dwelling unit on the basis of two (2) parking spaces per townhouse dwelling unit, one (1) of which shall be provided within the unit and one in the driveway to the unit; and,
- .5 off-street parking facilities shall be provided for visitors or guest parking on the basis of one (1) parking spaces for each five (5) dwelling units and the aforesaid parking facilities shall be signed accordingly and shall be located as shown on Figure 1- Exception 1744 of this by-law.

Figure 1



12.1745 Exception 1745

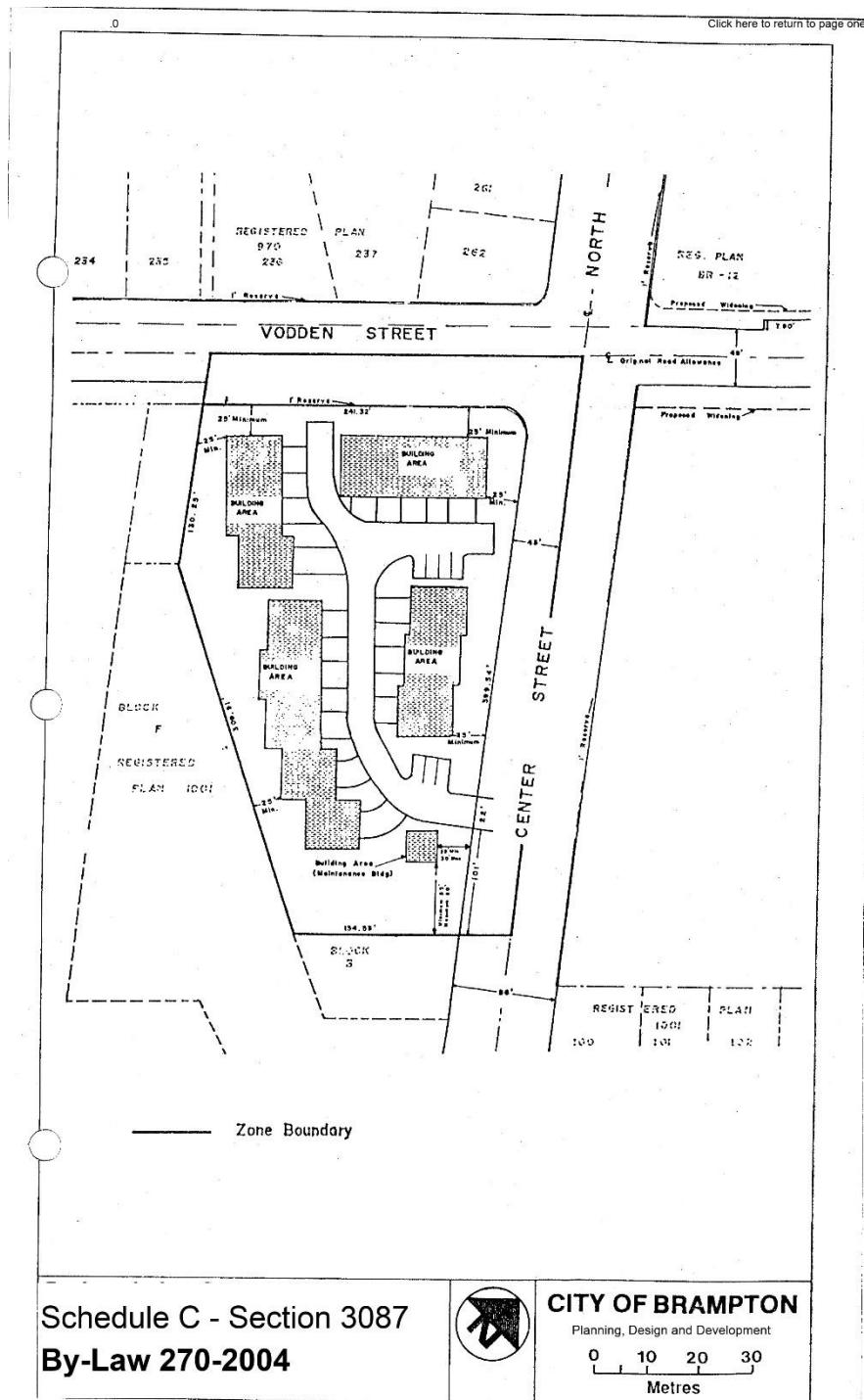
12.1745.1 The lands shall only be used for the following purposes:

- .1 townhouse dwellings;
- .2 open space; and,
- .3 purposes accessory to the other permitted purposes.

12.1745.2 The lands shall be subject to the following requirements and restrictions:

- .1 the minimum front, side and rear yards shall have minimum depths and widths as shown on Figure 1- Exception 1745 to this by-law;
- .2 a townhouse dwelling shall only be erected within the areas shown as Building Areas on Figure 1- Exception 1745 to this by-law;
- .3 a maintenance building shall only be erected in the area defined as Building Area (Maintenance Building) on Figure 1- Exception 1745 to this by-law;
- .4 for each townhouse dwelling unit, two (2) parking spaces shall be provided, one of which may be located in a driveway; and,
- .5 not less than seven (7) parking spaces shall be provided for visitors and guests.

Figure 1



12.1746 Exception 1746

12.1746.1 The lands shall only be used for the following purposes:

- .1 shall only be used for the purposes permitted in an R1 zone.

12.1746.2 The lands shall be subject to the following requirements and restrictions:

- .1 the Minimum Lot Width requirement set out in R1 Zone shall not apply to Lot 17 on Registered Plan 581.

12.1747 Exception 1747

12.1747.1 The lands shall only be used for the following purposes:

- .1 a senior citizens' apartment dwelling;
- .2 a church, which may contain a church assembly hall, reading rooms and administration offices.
- .3 a day nursery and a gymnasium.

12.1747.2 The lands shall be subject to the following requirements and restrictions:

- .1 the Maximum Building Height of the apartment dwelling shall be ten (10) storeys;
- .2 the Maximum Floor Space Index of the apartment building shall be 1.0;
- .3 the Maximum Number of Dwelling Units shall be as follows:
 - .a Bachelor dwelling unit - sixty-three (63) dwelling units
 - .b One bedroom dwelling - forty (40) dwelling units
 - .c Two bedroom dwelling - twenty (20) dwelling units
 - .d Total dwelling units - one hundred twenty-three (123) dwelling units
- .4 no dwelling units with more than two bedrooms shall be permitted;
- .5 Landscaped Open Space:
 - .a not less than sixty-five (65) percent of the roof of the senior citizens' apartment dwelling shall be maintained as a roof garden; and,
- .6 Parking Requirements:
 - .a all parking areas shall have direct and unobstructed access to and from a public street by driveways;
 - .b not less than thirty-one (31) parking spaces shall be provided and reserved for use by residents and visitors of the senior citizens' apartment dwelling; and,
 - .c not less than one hundred seventy-nine (179) spaces shall be provided which shall be for the use of the church, day nursery and gymnasium.
- .7 a service area for the loading or unloading of persons, animals or goods, with unobstructed ingress and egress to a public street, shall be provided; and
- .8 no fence, hedge or structure, except outdoor recreation facilities and signs, shall exceed a height of 1.8 metres within the landscaped open space area.

12.1747.3 for the purposes of Exception 1747:

- .1 for the purposes of this section, Roof Garden shall mean an open space at roof-top level of a building which is used for the growth, maintenance, preservation of grass, flowers, trees and shrubs and other landscaping including a surfaced walk, patio, pool or similar amenity but excluding any ramp, stairwell, retaining wall or any covered space within any main building or structure.

12.1748 Exception 1748

12.1748.1 The lands shall only be used for the following purposes:

- .1 a gas bar and shall include a convenience store,
- .2 a motor vehicle washing establishment, only in conjunction with a gas bar and convenience store,
- .3 a dining room restaurant, a convenience restaurant, and a take out restaurant,
- .4 a personal service shop,
- .5 a bank, trust company or finance company,
- .6 a dry cleaning and laundry distribution station, and
- .7 purposes accessory to other permitted uses.

12.1748.2 The lands shall be subject to the following requirements and restrictions:

- .1 a convenience store/gas bar kiosk shall be located within 35 metres of the westerly limits of the Goreway Drive right-of-way and 35 metres from the southerly limits of the Castlemore Road right-of-way.
- .2 Minimum Front Yard Depth: 3 metres.
- .3 Minimum Setback from Natural System (NS) Zone: 10 metres
- .4 restaurant refuse storage shall be enclosed in a climate-controlled area within a building.
- .5 the following provisions shall apply to drive-through facilities:
 - .a the drive-through facility must be physically separated from the parking area, and
 - .b Minimum Number of Stacking Spaces:
 - .i 10 spaces for a facility associated with a restaurant or a convenience store;
 - .ii 8 spaces for a facility associated with a bank, trust company or finance company; and
 - .iii 3 spaces for a facility associated with any other land use.
- .6 Minimum Landscaped Open Space:
 - .a 10 metres abutting a Natural System (NS) Zone.
 - .b 3 metres abutting the front lot line and exterior lot line, except at approved access locations.

12.1749 Exception 1749

12.1749.1 The lands shall only be used for the following purposes:

- .1 shall only be used for the purposes permitted in the LC zone.

12.1749.2 The lands shall be subject to the following requirements and restrictions:

- .1 Minimum Front Yard Depth: 3 metres.
- .2 Minimum Setback from Natural System (NS) Zone: 10 metres
- .3 Minimum Landscaped Open Space:
 - .a 10 metres abutting an NS zone.
 - .b 3 metres abutting the front lot line, except at approved access locations.

12.1749.3 Holding (H):

- .1 The holding symbol (H) shall not be removed until it is determined to the satisfaction of the Commissioner of Works and Transportation that an approved alignment of an east-west collector road connecting Humberwest Parkway with Goreway Drive does not interfere with the development of the lands zoned LC-Exception 1749.
- .2 Until the holding symbol (H) is removed, the lands designated LC-Exception 1749 shall only be used for the purposes permitted by the A zone, subject to the requirements and restrictions of the A zone, and all the general provisions of this by-law, that are not in conflict with those set out above.

12.1750 Exception 1750

12.1750.1 The lands shall only be used for the following purposes:

- .1 shall only be used for the purposes permitted in a RE zone;

12.1750.2 The lands shall be subject to the following requirements and restrictions:

- .1 no dwelling unit or inground swimming pool shall be located closer than 10 metres to the TransCanada Pipeline right-of-way; and,
- .2 no permanent building, structure, or excavation shall be located closer than 10 metres to a Natural System (NS) zone.

12.1751 Exception 1751

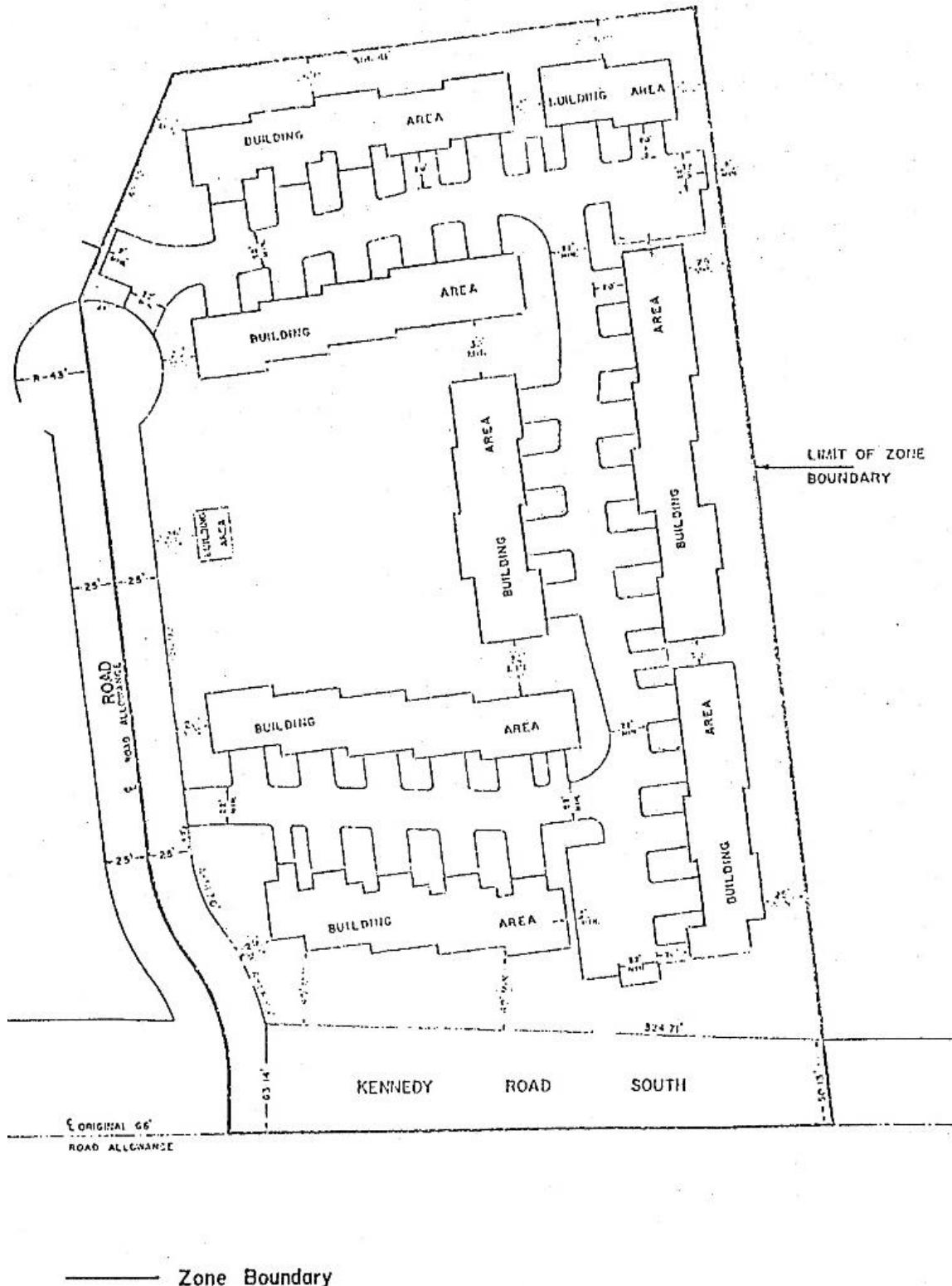
12.1751.1 The lands shall only be used for the following purposes:

- .1 townhouse dwellings; and,
- .2 purposes accessory to the other permitted purpose.

12.1751.2 The lands shall be subject to the following requirements and restrictions:

- .1 the Maximum Number of Dwelling Units shall be seventy-three (73) units;
- .2 the Minimum Lot Area per dwelling unit shall be two hundred and sixty (260) square metres;
- .3 townhouse dwellings shall only be erected within the areas shown as Building Areas, and in accordance with the minimum yard and building dimensions indicated, on Figure 1- Exception 1751 to this by-law;
- .4 Minimum Gross Floor Area per townhouse dwelling unit: eighty-three (83) square metres;
- .5 Maximum Coverage: thirty (30) percent of the lot area;
- .6 Maximum Building Height: 10.6 metres;
- .7 each townhouse dwelling unit shall have a private open space area which is enclosed by a privacy fence with a gate and which is not less than 5.5 metres by 6 metres in area;
- .8 a townhouse dwelling group shall have landscaped open space equal to at least thirty-five (35) percent of the lot area;
- .9 any fence erected between a building and court shall not exceed 1.8 metres in height;
- .10 for any parking area which is in a yard which abuts any zone where residential uses are permitted, a hedgerow of evergreen shrubs not less than 1.5 metres in height must be placed between the parking area and the lot line, and the remaining land between the hedgerow and the lot line shall be landscaped open space.

Figure 1



12.1752 Exception 1752

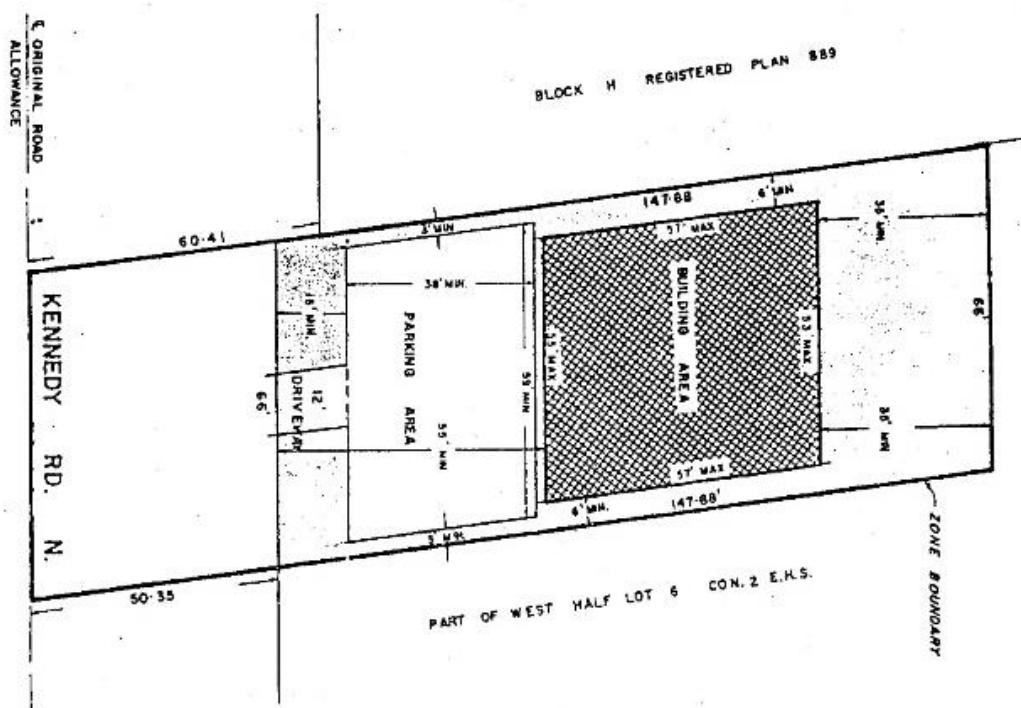
12.1752.1 The lands shall only be used for the following purposes:

- .1 a building containing four dwelling units; and,
- .2 purposes accessory to the other permitted purpose.

12.1752.2 The lands shall be subject to the following requirements and restrictions:

- .1 a building containing four dwelling units shall only be erected within the area defined as Building Area on Figure 1 – Exception 1752 to this by-law;
- .2 the depth of the front or rear yard and width of a side yard shall not be less than that shown on Figure 1 – Exception 1752 to this by-law;
- .3 Maximum Coverage by main building: thirty (30) percent of the lot area;
- .4 an accessory building or structure, including a swimming pool covered or enclosed by a permanent structure, may be located within the area defined as Landscaped Open Space on Figure 1 – Exception 1752 to this by-law, provided that the building area for all accessory buildings and structures does not exceed ten (10) percent of the lot area;
- .5 Maximum Building Height:
 - .a main building: two (2) storeys; and,
 - .b accessory building: 4.5 metres.

Figure 1



Landscaped Open Space



Zone Boundary

12.1753 Exception 1753

12.1753.1 The lands shall only be used for the following purposes:

- .1 an automobile sales dealership and establishment;
- .2 an automobile reconditioning facility;
- .3 purposes accessory to the other permitted purposes.

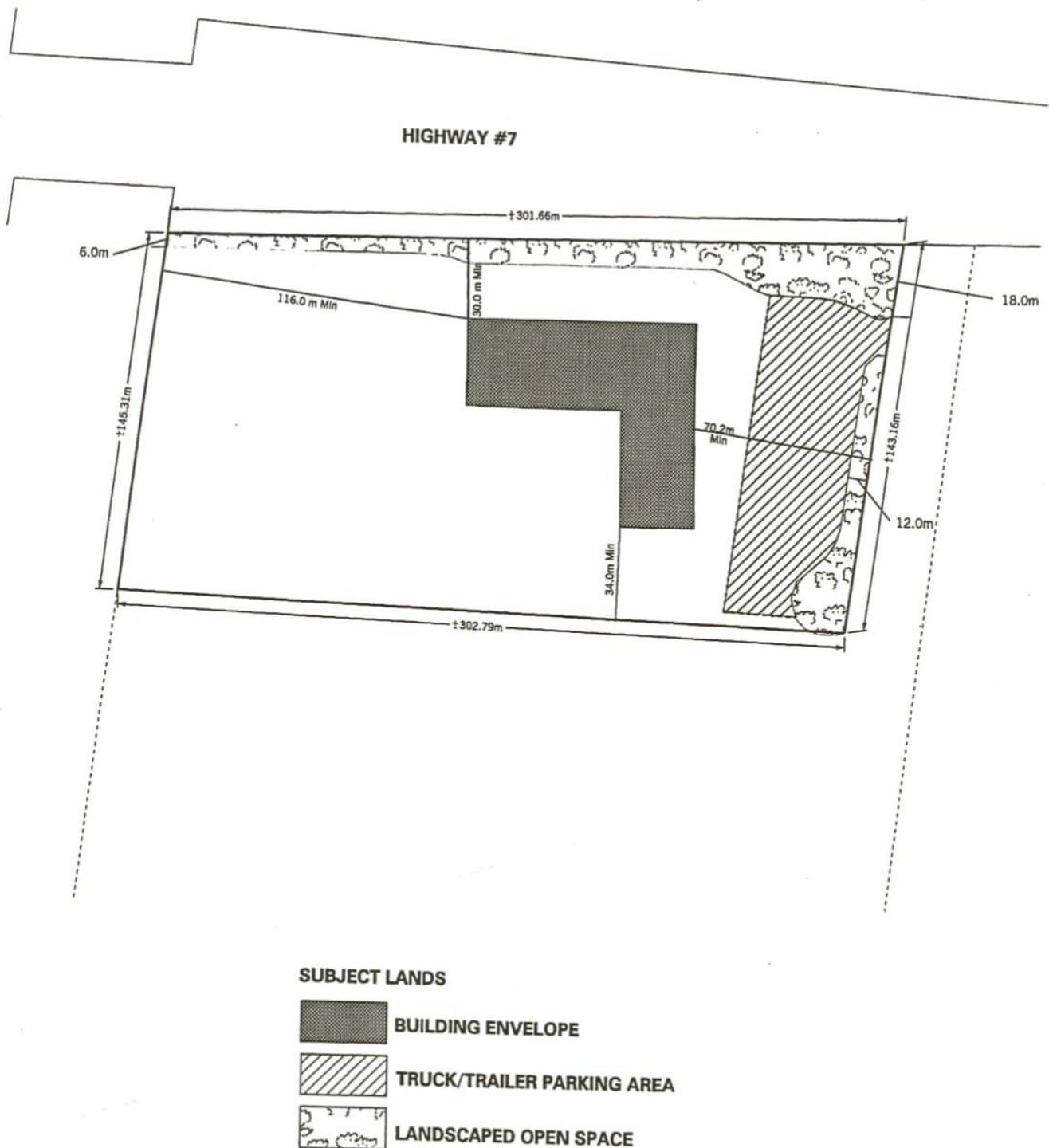
12.1753.2 The lands shall be subject to the following requirements and restrictions:

- .1 Minimum Lot Area: 6070 square metres
- .2 Maximum Lot Coverage: 35 percent
- .3 Minimum Lot Frontage: 50 metres;
- .4 all buildings and structures shall be located within the areas outlined as BUILDING ENVELOPE on Figure 1-Exception 1753, with the exception of accessory buildings less than 10.0 square metres;
- .5 except for driveway locations, LANDSCAPED OPEN SPACE shall be provided and maintained in the locations and at the minimum widths shown outlined on Figure 1-Exception 1753;
- .6 no outdoor storage of goods materials shall be permitted except for the temporary parking of automobiles associated with an automobile reconditioning facility;
- .7 rooftop mechanical equipment shall be enclosed and/or screened from view from abutting roads including Queen Street East; and,
- .8 truck and trailer parking shall only be permitted within those areas outlined as TRUCK/TRAILER PARKING on Figure 1-Exception 1753.

12.1753.3 for the purposes of section 1753:

- .1 an Automobile Reconditioning Facility shall mean a building or place where automobile vehicles are washed, cleaned and prepared for sale in conjunction with an automobile sales establishment, and shall only include a motor vehicle repair shop or body shop as an accessory use.

Figure 1



12.1754 Exception 1754

12.1754.1 The lands shall only be used for the following purposes:

.1 shall only be used for the purpose permitted in an R2M zone.

12.1754.2 The lands shall be subject to the following requirements and restrictions:

.1 Minimum Lot Area per townhouse dwelling units: 269 square metres;

.2 Maximum Number of townhouse dwelling units: 60 units;

.3 townhouse dwellings shall only be erected within the areas shown as Building Area, and in accordance with the building and yard dimensions indicated, on Figure 1- Exception 1754 to this by-law;

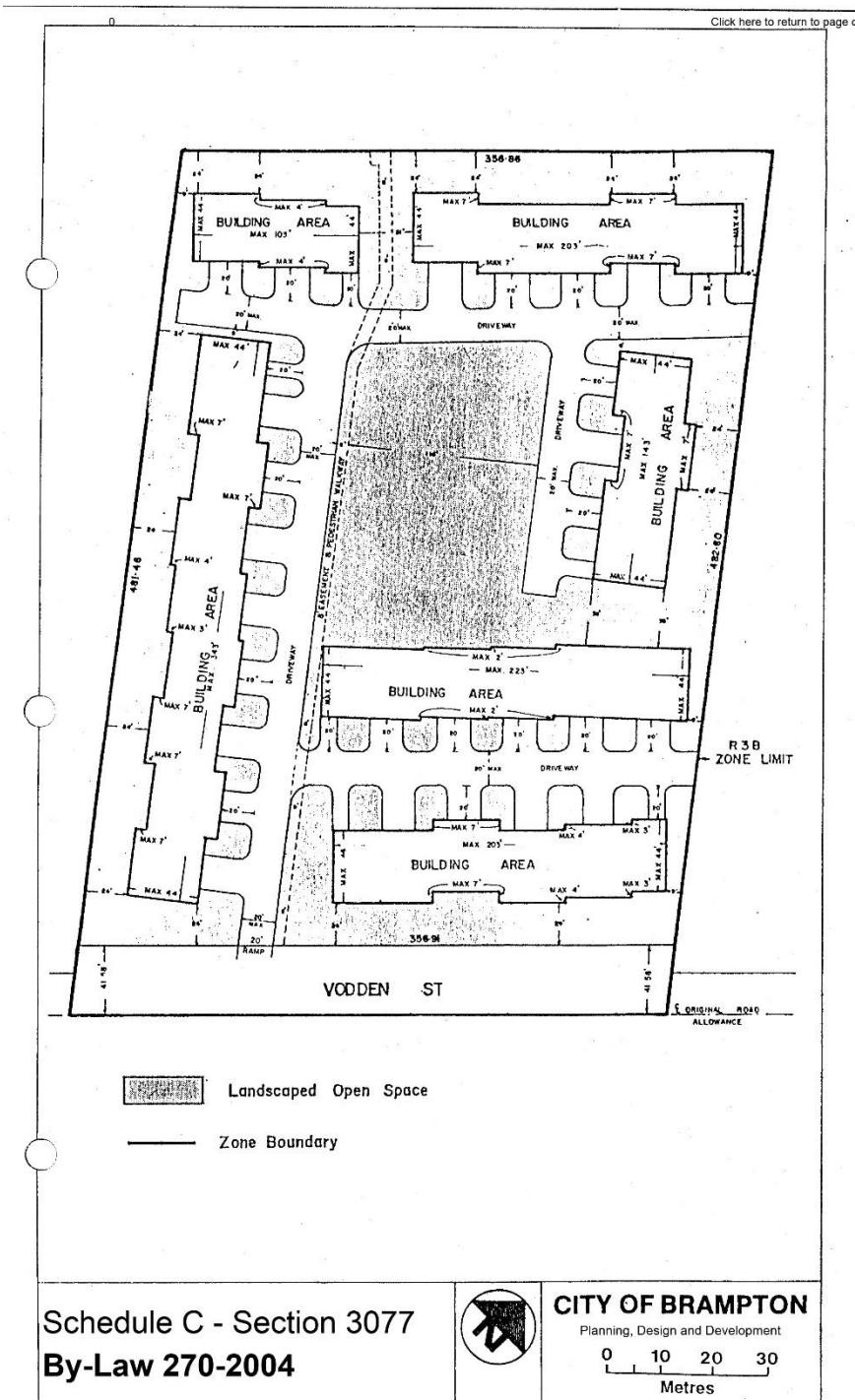
.4 each townhouse dwelling unit shall have a private open space area which is enclosed by a privacy fence with a gate and which is not less than six (6) metres by six (6) metres in area;

.5 a townhouse dwelling group shall have landscaped open space equal to at least thirty five (35) percent of the lot area;

.6 any fence erected between the closest main building and Vodden Street shall not exceed 1.8 metres in height; and,

.7 where any parking area is located in a yard which abuts any zone in which residential uses are permitted, a hedgerow of evergreen shrubs not less than 1.5 metres in height shall be placed between the parking area and the lot line, and the land between the parking area and the lot line and the land between the hedgerows and the lot line shall be landscaped open space.

Figure 1



12.1756 Exception 1756

12.1756.1 The lands shall only be used for the following purposes:

- .1 shall only be used for the purposes permitted in a R1 zone.

12.1756.2 The lands shall be subject to the following requirements and restrictions:

- .1 Minimum Lot Area: 570 square metres
- .2 Minimum Lot Width:
 - .a Interior Lot: 16.8 metres
 - .b Corner Lot: 18.6 metres
- .3 Minimum Lot Depth: 34 metres
- .4 Minimum Front Yard Depth: 6.0 metres to the front of the garage and 4.5 metres to the front wall of the dwelling
- .5 Minimum Exterior Side Yard Width: 3.0 metres, except where a garage faces the exterior side lot line the minimum setback to the front of the garage shall be 6.0 metres.
- .6 Minimum Rear Yard Depth: 7.5 metres, which may be reduced to a minimum of 6.0 metres provided that the area of the rear yard is at least 25% of the minimum required lot area
- .7 Minimum Interior Side Yard Width:
 - .a 0.6 metres, provided the combined total of the interior side yards on an interior lot is not less than 1.8 metres.
 - .b 1.2 metres where the side yard abuts a public walkway or a non-residential zone.
- .8 Minimum Landscaped Open Space
 - .a 40% of the minimum front yard area; and ,
 - .b 30% of the minimum front yard area if the acute angle at the intersection of the side lot lines extended beyond the front lot line is greater than 25 degrees
- .9 no garage shall project into the front yard more than 1.5 metres beyond a porch or front wall of a dwelling;
- .10 where a lot has a width greater than 13.5 metres and the width of the porch is 50%, or less, of the ground floor width of the dwelling unit, excluding any garage, the porch may encroach 2.0 metres into the minimum front yard.
- .11 Minimum Dwelling Unit Setback from the limit of a Natural System (NS) zone: 10 metres.

12.1757 Exception 1757

12.1757.1 The lands shall only be used for the following purposes:

.1 shall only be used for the purposes permitted in a R1 zone.

12.1757.2 The lands shall be subject to the following requirements and restrictions:

.1 Minimum Lot Area: 420 square metres

.2 Minimum Lot Width:

- .a Interior Lot: 16.8 metres
- .b Corner Lot: 18.6 metres

.3 Minimum Lot Depth: 25 metres

.4 Minimum Front Yard Depth: 6.0 metres to the front of the garage and 4.5 metres to the front wall of the dwelling

.5 Minimum Exterior Side Yard Width: 3.0 metres, except where a garage faces the exterior side lot line the minimum setback to the front of the garage shall be 6.0 metres.

.6 Minimum Rear Yard Depth: 7.5 metres, which may be reduced to a minimum of 6.0 metres provided that the area of the rear yard is at least 25% of the minimum required lot area

.7 Minimum Interior Side Yard Width:

- .a 0.6 metres, provided the combined total of the interior side yards on an interior lot is not less than 1.8 metres.
- .b 1.2 metres where the side yard abuts a public walkway or a non-residential zone.

.8 Minimum Landscaped Open Space

- .a 40 % of the minimum front yard area; and,
- .b 30% of the minimum front yard area if the acute angle at the intersection of the side lot lines extended beyond the front lot line is greater than 25 degrees

.9 no garage shall project into the front yard more than 1.5 metres beyond a porch or front wall of a dwelling.

.10 where a lot has a width greater than 13.5 metres and the width of the porch is 50%, or less, of the ground floor width of the dwelling unit, excluding any garage, the porch may encroach 2.0 metres into the minimum front yard.

12.1758 Exception 1758

12.1758.1 The lands shall only be used for the following purposes:

.1 shall only be used for the purposes permitted in a R1 zone.

12.1758.2 The lands shall be subject to the following requirements and restrictions:

.1 Minimum Lot Area: 340 square metres

.2 Minimum Lot Width:

 Interior Lot: 13.7 metres

 Corner Lot: 15.5 metres

.3 Minimum Lot Depth: 25 metres

.4 Minimum Front Yard Depth: 6.0 metres to the front of the garage and 4.5 metres to the front wall of the dwelling

.5 Minimum Exterior Side Yard Width: 3.0 metres, except where a garage faces the exterior side lot line the minimum setback to the front of the garage shall be 6.0 metres.

.6 Minimum Rear Yard Depth: 7.5 metres, which may be reduced to a minimum of 6.0 metres provided that the area of the rear yard is at least 25% of the minimum required lot area

.7 Minimum Interior Side Yard Width:

 .a 0.6 metres, provided the combined total of the interior side yards on an interior lot is not less than 1.8 metres.

 .b 1.2 metres where the side yard abuts a public walkway or a non-residential zone.

.8 Minimum Landscaped Open Space

 .a 40% of the minimum front yard area; and,

 .b 30% of the minimum front yard area if the acute angle at the intersection of the side lot lines extended beyond the front lot line is greater than 25 degrees

.9 no garage shall project into the front yard more than 1.5 metres beyond a porch or front wall of a dwelling;

.10 where a lot has a width greater than 13.5 metres and the width of the porch is 50%, or less, of the ground floor width of the dwelling unit, excluding any garage, the porch may encroach 2.0 metres into the minimum front yard.

12.1759 Exception 1759

12.1759.1 The lands shall only be used for the following purposes:

- .1 shall only be used for the purposes permitted by 1759.1.a, or the purposes permitted by 1759.1.b, but not both exceptions or not any combination of both Exceptions:
 - .a either:
 - .i a golf course; and,
 - .ii purposes accessory to the other permitted purposes.
 - .b or:
 - .i those purposes permitted by EXCEPTION 1758.

12.1759.2 The lands shall be subject to the following requirements and restrictions:

- .1 for those uses permitted by EXCEPTION 1758, the requirements and restrictions set out in EXCEPTION 1758.
- .2 for those uses permitted by Exception 1759.1.a, the requirements and restrictions set out in the RC zone.

12.1761 Exception 1761

12.1761.1 The lands shall only be used for the following purposes:

- .1 a semi-detached dwelling;
- .2 an auxiliary group home; and,
- .3 purposes accessory to the other permitted purposes.

12.1761.2 The lands shall be subject to the following requirements and restrictions:

- .1 Minimum Lot Area: 229.8 square metres per dwelling unit
- .2 Minimum Lot Width:
 - .a Interior Lot: 13.7 metres per lot and 6.8 metres per dwelling unit
 - .b Corner Lot: 15.5 metres per lot and 8.6 metres for the dwelling unit closest to the flankage lot line
- .3 Minimum Lot Depth: 33.5 metres
- .4 Minimum Front Yard Depth: 6.0 metres to the front of the garage and 4.5 metres to the front wall of the dwelling
- .5 Minimum Exterior Side Yard Width: 3.0 metres, except where a garage faces the exterior side lot line the minimum setback to the front of the garage shall be 6.0 metres
- .6 Minimum Rear Yard Depth: 12.0 metres
- .7 Minimum Interior Side Yard Width: 1.2 metres, except along the common wall lot line where the setback may be zero metres.
- .8 Minimum Landscaped Open Space:
 - .a 40% of the minimum front yard area and
 - .b 30% of the minimum front yard area if the acute angle at the intersection of the side lot lines extended beyond the front lot line is greater than 25 degrees.
- .9 the following provisions shall apply to garages:
 - .a the maximum garage door width per dwelling unit shall be:
 - .i 3.1 metres, if the lot width for the particular dwelling unit is less than 8.0 metres; and,
 - .ii 3.7 metres, if the lot width for the particular dwelling unit is 8.0 metres or greater.
 - .b the garage door width may be widened by an extra 0.6 metres if the front of the garage is not more than 2.5 metres closer to the front lot line than the ground floor main entrance of the dwelling unit

- .c the garage door width restriction does not apply to the garage door facing a flankage lot line
- .d the interior garage width, as calculated 3 metres from the garage opening shall not be 0.6 metres more than the maximum garage door width permitted on the lot.

.10 no garage shall project into the front yard more than 1.5 metres beyond a porch or a front wall of a dwelling for a particular unit.

12.1762 Exception 1762

12.1762.1 The lands shall only be used for the following purposes:

- .1 a semi-detached dwelling;
- .2 an auxiliary group home; and,
- .3 purposes accessory to the other permitted purposes.

12.1762.2 The lands shall be subject to the following requirements and restrictions:

- .1 Minimum Lot Area: 205.8 square metres per dwelling unit
- .2 Minimum Lot Width:
 - .a Interior Lot: 13.7 metres per lot and 6.8 metres per dwelling unit
 - .b Corner Lot: 15.5 metres per lot and 8.6 metres for the dwelling unit closest to the flankage lot line
- .3 Minimum Lot Depth: 30 metres
- .4 Minimum Front Yard Depth: 6.0 metres to the front of the garage and 4.5 metres to the front wall of the dwelling
- .5 Minimum Exterior Side Yard Width: 3.0 metres, except where a garage faces the exterior side lot line the minimum setback to the front of the garage shall be 6.0 metres
- .6 Minimum Rear Yard Depth: 7.5 metres which may be reduced to a minimum of 6.0 metres provided that the area of the rear yard is at least 25% of the minimum required lot area.
- .7 Minimum Interior Side Yard Width: 1.2 metres, except along the common wall lot line where the setback may be zero metres.
- .8 Minimum Landscaped Open Space:
 - .a 40% of the minimum front yard area and
 - .b 30% of the minimum front yard area if the acute angle at the intersection of the side lot lines extended beyond the front lot line is greater than 25 degrees.
- .9 the following provisions shall apply to garages:
 - .a the maximum garage door width per dwelling unit shall be:
 - .i 3.1 metres, if the lot width for the particular dwelling unit is less than 8.0 metres; and,
 - .ii 3.7 metres, if the lot width for the particular dwelling unit is 8.0 metres or greater.

- .b the garage door width may be widened by an extra 0.6 metres if the front of the garage is not more than 2.5 metres closer to the front lot line than the ground floor main entrance of the dwelling unit
- .c the garage door width restriction does not apply to the garage door facing a flankage lot line
- .d the interior garage width, as calculated 3 metres from the garage opening shall not be 0.6 metres more than the maximum garage door width permitted on the lot.

.10 no garage shall project into the front yard more than 1.5 metres beyond a porch or a front wall of a dwelling for a particular unit.

12.1763 Exception 1763

12.1763.1 The lands shall only be used for the following purposes:

- .1 shall only be used for the purposes permitted in a R1 zone.

12.1763.2 The lands shall be subject to the following requirements and restrictions:

- .1 Minimum Lot Area: 360 square metres
- .2 Minimum Lot Width:
 - .a Interior Lot: 12.0 metres
 - .b Corner Lot: 13.8 metres
- .3 Minimum Lot Depth: 30 metres
- .4 Minimum Front Yard Depth: 6.0 metres to the front of the garage and 4.5 metres to the front wall of the dwelling
- .5 Minimum Exterior Side Yard Width: 3.0 metres, except where a garage faces the exterior side lot line the minimum setback to the front of the garage shall be 6.0 metres.
- .6 Minimum Rear Yard Depth: 7.5 metres, which may be reduced to a minimum of 6.0 metres provided that the area of the rear yard is at least 25% of the minimum required lot area
- .7 Minimum Interior Side Yard Width:
 - .a 0.6 metres, provided the combined total of the interior side yards on an interior lot is not less than 1.8 metres.
 - .b 1.2 metres where the side yard abuts a public walkway or a non-residential zone.
- .8 Minimum Landscaped Open Space
 - .a 40 % of the minimum front yard area; and,
 - .b 30% of the minimum front yard area if the acute angle at the intersection of the side lot lines extended beyond the front lot line is greater than 25 degrees
- .9 the following provisions shall apply to garages:
 - .a the maximum garage door width shall be 5.5 metres;
 - .b the garage door width may be widened by an extra 0.6 metres if the front of the garage is not more than 2.5 metres closer to the front lot line than the ground floor main entrance of the dwelling unit;
 - .c the garage door width restriction does not apply to the garage door facing the flankage lot line;

- .d the interior garage width, as calculated 3 metres from the garage opening shall not be 0.9 metres more than the maximum garage door width permitted on the lot.
- .10 no garage shall project into the front yard more than 1.5 metres beyond a porch or front wall of a dwelling; and,
- .11 Minimum Dwelling Unit Setback from a Natural System (NS) zone: 10 metres.

12.1764 Exception 1764

12.1764.1 The lands shall only be used for the following purposes:

- .1 Residential
 - .a a townhouse dwelling;
- .2 Non-Residential
 - .a purposes accessory to the other permitted purposes; and,
 - .b an auxiliary group home.

12.1764.2 The lands shall be subject to the following requirements and restrictions:

- .1 Minimum Lot Area: 0.95 hectares.
- .2 Minimum Lot Width: 30.0 metres.
- .3 Minimum Lot Depth: 200.0 metres.
- .4 Minimum Yard Setbacks: minimum 4.6 metres from all lot lines, except where a lot line abuts an NS zone, in which case a minimum yard setback of 10.0 metres shall be required.
- .5 Minimum Setback to Garage Door: minimum 6 metres, between the edge of an internal roadway as measured in a parallel line to the edge of a garage door, of any particular unit.
- .6 Distance Between Buildings: minimum 3.0 metres shall be maintained between all main buildings within the lot.
- .7 Maximum Building Height: 10.6 metres.
- .8 Maximum Lot Coverage by principal building(s): 30 percent of lot area.
- .9 Minimum Landscaped Open Space: 40 percent of lot area.
- .10 the following provisions shall apply to garages:
 - .a the maximum garage door width per dwelling unit shall be:
 - .i 2.5 metres for a dwelling unit having a width of less than 7.0 metres;
 - .ii 3.1 metres for a dwelling unit having a width of less than 8.0 metres, but greater than or equal to 7.0 metres;
 - .iii 3.7 metres for a dwelling unit having a width of 8.0 metres or greater.
 - .b the garage door width for a dwelling unit may be widened by an extra 0.6 metres if the front of the garage is not more than 2.5 metres closer than the ground floor main entrance of the dwelling unit;
 - .c the garage door width restriction does not apply to the garage door facing a flankage lot line;

- .d the interior garage width, as calculated 3.0 metres from the garage opening, shall not be 0.6 metres more than the maximum garage door width permitted for the dwelling unit.
- .11 Maximum Garage Projection: No garage shall project into the front yard more than 1.5 metres beyond a porch or front wall of a dwelling for the particular unit.
- .12 Maximum Number of Dwelling Units per townhouse dwelling: 8
- .13 each dwelling unit shall have direct pedestrian access from the front yard to the rear yard without having to pass through a habitable room.

12.1765 Exception 1765

12.1765.1 The lands shall only be used for the following purposes:

- .1 a semi-detached dwelling;
- .2 an auxiliary group home; and,
- .3 purposes accessory to the other permitted purposes.

12.1765.2 The lands shall be subject to the following requirements and restrictions:

- .1 Minimum Lot Area: 195 square metres per dwelling unit;
- .2 Minimum Lot Width:
 - .a Interior Lot: 13.0 metres per lot, and 6.5 metres per dwelling unit;
 - .b Corner Lot: 14.8 metres per lot, and 8.38 metres for the dwelling unit closest to the flankage lot line.
- .3 Minimum Lot Depth: 30.0 metres.
- .4 Minimum Front Yard Depth: 6.0 metres to the front of a garage and 4.5 metres to the front wall of the dwelling.
- .5 Minimum Rear Yard Depth:
 - .a 7.5 metres, which may be reduced to a minimum of 6.0 metres for a dwelling unit provided that the area of the rear yard is at least 25 percent of the minimum required lot area for the particular unit; and,
- .6 Minimum Interior Side Yard Width: 1.2 metres, except along the common wall lot line where the setback may be 0.0 metres.
- .7 Minimum Exterior Side Yard Width: 3.0 metres, except where a garage faces the exterior side lot line the minimum setback to the front of the garage shall be 6.0 metres.
- .8 Minimum Setback From NS Zone: no dwelling shall be located within 10.0 metres of an NS Zone.
- .9 Minimum Landscaped Open Space:
 - .a 40 percent of the minimum front yard area; and,
 - .b 30 percent of the minimum front yard area if the acute angle at the intersection of the side lot lines beyond the front lot line is greater than 25 degrees.
- .10 the following provisions shall apply to garages:
 - .a the maximum garage door width per dwelling unit shall be:
 - .i 2.5 metres on a lot having a lot width per dwelling unit of less than 7.0 metres;

- .ii 3.1 metres on a lot having a lot width per dwelling unit greater than or equal to 7.0 metres, but less than 8.0 metres;
- .iii 3.7 metres on a lot having a lot width per dwelling unit greater than or equal to 8.0 metres;
- .b the garage door width may be widened by an extra 0.6 metres if the front of the garage is not more than 2.5 metres closer to the front lot line than the ground floor main entrance of the dwelling unit;
- .c the garage door width restriction does not apply to the garage door facing a flankage lot line;
- .d the interior garage width, as calculated 3.0 metres from the garage opening, shall not be 0.6 metres more than the maximum garage door width permitted on the lot.

.11 Maximum Garage Projection: no garage shall project into the front yard more than 1.5 metres beyond a porch or front wall of a dwelling.

12.1766 Exception 1766

12.1766.1 The lands shall only be used for the following purposes:

- .1 a single detached dwelling;
- .2 purposes accessory to the other permitted uses; and
- .3 a home occupation.

12.1766.2 The lands shall be subject to the following requirements and restrictions:

- .1 Minimum Yard Depth from lot line abutting Main Street South: 20 metres.
- .2 Minimum Interior Side Yard Width: 10 percent of lot width for the first storey or part thereof, 20 percent of lot width for 2 or more storeys.
- .3 Minimum Exterior Side Yard Width: the greater of 3 metres or the required interior side yard width.
- .4 Maximum Gross Residential Floor Area: 550 square metres, subject to the following:
 - .a Maximum Gross Residential Floor Area shall be dictated by a sliding scale floor space index which operates as follows:
 - .i for lots of 450 square metres or less, a floor space index of 0.52 times the lot area applies;
 - .ii for lots of 450 square metres to 750 square metres, floor space index of .52 is reduced by .02 for each additional 50 square metres of lot area in excess of 450 square metres to a floor space index of 0.40 times the lot area for a lot of 750 square metres;
 - .iii for lots of 750 square metres to 1000 square metres, floor space index of .40 is reduced by .01 for each additional 50 square metres of lot area in excess of 750 square metres to a floor space index of 0.35 times the lot area for a lot of 1000 square metres; and
 - .iv for lots in excess of 1000 square metres, a floor space index of .35 times the lot area applies to a maximum gross residential floor area of 550 square metres.

12.1767 Exception 1767

12.1767.1 The lands shall only be used for the following purposes:

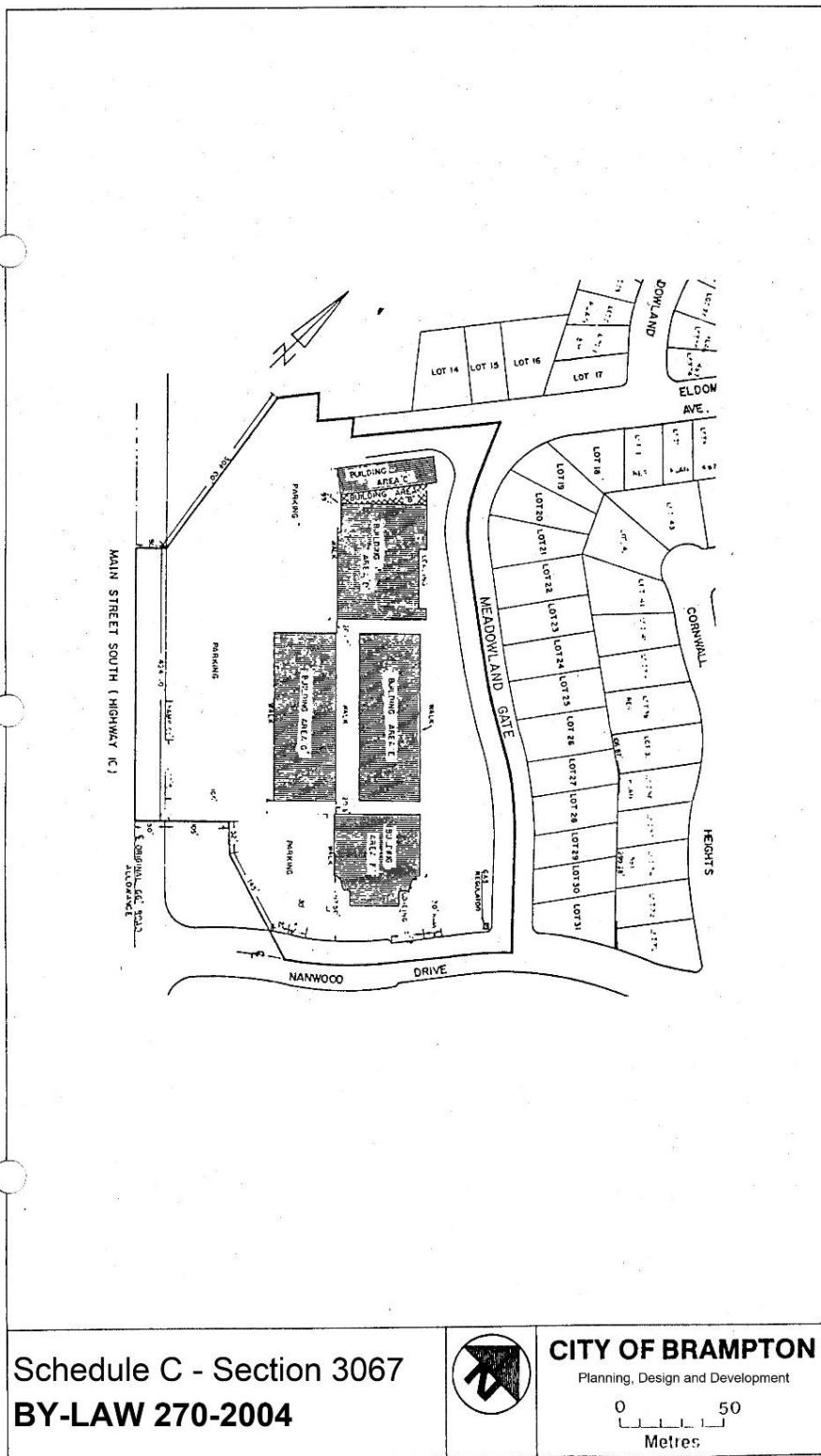
- .1 the purposes permitted in a GC zone, except for an amusement arcade;
- .2 automobile accessory sales, but not including the sale or servicing of automobiles;
- .3 coin-operated cleaning establishment;
- .4 gas regulator facility; and,
- .5 movie theatres.

12.1767.2 The lands shall be subject to the following requirements and restrictions:

- .1 buildings shall only be erected with the areas designated as Building Areas B, C, D, E, F, or G, as shown on Figure 1- Exception 1767 to this by-law, provided that nothing shall prevent the use of underground corridors and stairs not within the designated building area;
- .2 the Floor Space Index of all buildings erected within the designated Building Areas shall not exceed 0.3;
- .3 Maximum Building Height: two storeys or 7.3 metres whichever is the lesser;
- .4 the area designated as Landscaped Open Space on Figure 1- Exception 1767 to this by-law shall be maintained as landscaped open space;
- .5 Off-Street Parking shall be provided in the area designated Parking on Figure 1- Exception 1767 to this by-law; and,
- .6 the provisions of the Sign By-law of the City of Brampton shall apply, except that only one entrance sign, which may be illuminated, may be erected at the parking area ramp located on Main Street South and on Meadowland Gate South east, provided that each such sign does not exceed 2.3 square metres in area for each sign and is located no closer than 0.6 metres to any lot line.
- .7 movie theatres shall only be permitted up to an aggregate maximum of 3 screens and 780 seats.

Figure 1

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12.1768 Exception 1768

12.1768.1 The lands shall only be used for the following purposes:

.1 shall only be used for those purposes permitted in a R1 zone.

12.1768.2 The lands shall be subject to the following requirements and restrictions:

.1 Minimum Lot Area: 300 square metres

.2 Minimum Lot Width:

- .a Interior Lot: 12.0 metres.
- .b Corner Lot: 13.8 metres.

.3 Minimum Lot Depth: 25 metres.

.4 Minimum Front Yard Depth: 4.5 metres to the front wall of the dwelling and 6.0 metres to the front of the garage door.

.5 Minimum Rear Yard Depth: 7.5 metres, which may be reduced to 6.0 metres provided that the area of the rear yard is at least 25 percent of the minimum required lot area.

.6 Minimum Interior Side Yard Width:

- .a 0.6 metres, provided the combined total of the interior side yards on an interior lot is not less than 1.8 metres.
- .b 1.2 metres where the side yard abuts a public walkway or a non-residential zone.

.7 Minimum Exterior Side Yard Width: 3.0 metres, except where a garage faces the exterior side lot line the minimum setback to the front of the garage shall be 6.0 metres.

.8 Minimum Landscaped Open Space:

- .a 40 percent of the minimum front yard area;
- .b 30 percent of the minimum front yard area if the acute angle at the intersection of the side lot lines extended beyond the front lot line is greater than 25 degrees.

.9 Maximum Garage Door Width:

- .a the maximum garage door width shall be 5.5 metres on a lot having a lot width less than 16 metres but greater than or equal to 12 metres;
- .b the garage door width may be widened by an extra 0.6 metres if the front of the garage is not more than 2.5 metres closer to the front lot line than the ground floor main entrance of the dwelling unit;
- .c the garage door width restriction does not apply to the garage door facing a flankage lot line or on a lot having a lot width greater than or equal to 16 metres; and

- .d the interior garage width, as calculated 3 metres from the garage opening, shall not be 0.6 metres more than the maximum garage door width permitted on the lot.
- .10 Maximum Garage Projection: no garage facing the front lot line shall project into the front yard more than 2.5 metres beyond a porch or front wall of a dwelling.
- .11 Minimum setback from a Natural System (NS) zone: 10 metres.

12.1769 Exception 1769

12.1769.1 The lands shall only be used for the following purposes:

- .1 the purposes permitted in a R1 zone;
- .2 flood and erosion control purposes.

12.1769.2 The lands shall be subject to the following requirements and restrictions:

- .1 Minimum Lot Area: 360 square metres
- .2 Minimum Lot Width:
 - .a Interior Lot: 12.0 metres.
 - .b Corner Lot: 13.8 metres.
- .3 Minimum Lot Depth: 30 metres.
- .4 Minimum Front Yard Depth: 4.5 metres to the front wall of the dwelling and 6.0 metres to the front of the garage door.
- .5 Minimum Rear Yard Depth: 7.5 metres, which may be reduced to 6.0 metres provided that the area of the rear yard is at least 25 percent of the minimum required lot area.
- .6 Minimum Interior Side Yard Width:
 - .a 0.6 metres, provided the combined total of the interior side yards on an interior lot is not less than 1.8 metres.
 - .b 1.2 metres where the side yard abuts a public walkway or a non-residential zone.
- .7 Minimum Exterior Side Yard Width: 3.0 metres, except where a garage faces the exterior side lot line the minimum setback to the front of the garage shall be 6.0 metres.
- .8 Minimum Landscaped Open Space:
 - .a 40 percent of the minimum front yard area;
 - .b 30 percent of the minimum front yard area if the acute angle at the intersection of the side lot lines extended beyond the front lot line is greater than 25 degrees.
- .9 Maximum Garage Door Width:
 - .a the maximum garage door width shall be 5.5 metres on a lot having a lot width less than 16 metres but greater than or equal to 12 metres;
 - .b the garage door width may be widened by an extra 0.6 metres if the front of the garage is not more than 2.5 metres closer to the front lot line than the ground floor main entrance of the dwelling unit;

- .c the garage door width restriction does not apply to the garage door facing a flankage lot line or on a lot having a lot width greater than or equal to 16 metres; and
- .d the interior garage width, as calculated 3 metres from the garage opening, shall not be 0.6 metres more than the maximum garage door width permitted on the lot.

.10 Maximum Garage Projection: no garage facing the front lot line shall project into the front yard more than 2.5 metres beyond a porch or front wall of a dwelling.

.11 Minimum Setback from a Natural System (NS) zone: 10 metres.

12.1770 Exception 1770

12.1770.1 The lands shall only be used for the following purposes:

- .1 shall only be used for those purposes permitted in a R1 zone.

12.1770.2 The lands shall be subject to the following requirements and restrictions:

- .1 Minimum Lot Area: 350 square metres
- .2 Minimum Lot Width:
 - .a Interior Lot: 13.5 metres.
 - .b Corner Lot: 15.3 metres.
- .3 Minimum Lot Depth: 25 metres.
- .4 Minimum Front Yard Depth: 4.5 metres to the front wall of the dwelling and 6.0 metres to the front of the garage door.
- .5 Minimum Rear Yard Depth: 7.5 metres, which may be reduced to 6.0 metres provided that the area of the rear yard is at least 25 percent of the minimum required lot area.
- .6 Minimum Interior Side Yard Width:
 - .a 0.6 metres, provided the combined total of the interior side yards on an interior lot is not less than 1.8 metres.
 - .b 1.2 metres where the side yard abuts a public walkway or a non-residential zone.
- .7 Minimum Exterior Side Yard Width: 3.0 metres, except where a garage faces the exterior side lot line the minimum setback to the front of the garage shall be 6.0 metres.
- .8 Minimum Landscaped Open Space:
 - .a 40 percent of the minimum front yard area;
 - .b 30 percent of the minimum front yard area if the acute angle at the intersection of the side lot lines extended beyond the front lot line is greater than 25 degrees.
- .9 Maximum Garage Door Width:
 - .a the maximum garage door width shall be 5.5 metres on a lot having a lot width less than 16 metres but greater than or equal to 13.5 metres;
 - .b the garage door width may be widened by an extra 0.6 metres if the front of the garage is not more than 2.5 metres closer to the front lot line than the ground floor main entrance of the dwelling unit;
 - .c the garage door width restriction does not apply to the garage door facing a flankage lot line or on a lot having a lot width greater than or equal to 16 metres; and

- .d the interior garage width, as calculated 3 metres from the garage opening, shall not be 0.6 metres more than the maximum garage door width permitted on the lot.
- .10 Maximum Garage Projection: no garage facing the front lot line shall project into the front yard more than 2.5 metres beyond a porch or front wall of a dwelling.
- .11 Minimum Setback from a Natural System (NS) zone: 10 metres.

12.1771 Exception 1771

12.1771.1 The lands shall only be used for the following purposes:

.1 shall only be used for those purposes permitted in a R1 zone.

12.1771.2 The lands shall be subject to the following requirements and restrictions:

.1 Minimum Lot Area: 375 square metres

.2 Minimum Lot Width:

- .a Interior Lot: 15.0 metres.
- .b Corner Lot: 16.8 metres.

.3 Minimum Lot Depth: 25 metres.

.4 Minimum Front Yard Depth: 4.5 metres to the front wall of the dwelling and 6.0 metres to the front of the garage door.

.5 Minimum Rear Yard Depth: 7.5 metres, which may be reduced to 6.0 metres provided that the area of the rear yard is at least 25 percent of the minimum required lot area.

.6 Minimum Interior Side Yard Width:

- .a 0.6 metres, provided the combined total of the interior side yards on an interior lot is not less than 1.8 metres.
- .b 1.2 metres where the side yard abuts a public walkway or a non-residential zone.

.7 Minimum Exterior Side Yard Width: 3.0 metres, except where a garage faces the exterior side lot line the minimum setback to the front of the garage shall be 6.0 metres.

.8 Maximum Gross Floor Area of a detached garage: 40 square metres.

.9 Minimum Landscaped Open Space:

- .a 40 percent of the minimum front yard area;
- .b 30 percent of the minimum front yard area if the acute angle at the intersection of the side lot lines extended beyond the front lot line is greater than 25 degrees.

.10 Maximum Garage Door Width:

- .a the maximum garage door width shall be 5.5 metres on a lot having a lot width less than 16 metres but greater than or equal to 15 metres;
- .b the garage door width may be widened by an extra 0.6 metres if the front of the garage is not more than 2.5 metres closer to the front lot line than the ground floor main entrance of the dwelling unit;

- .c the garage door width restriction does not apply to the garage door facing a flankage lot line or on a lot having a lot width greater than or equal to 16 metres; and
- .d the interior garage width, as calculated 3 metres from the garage opening, shall not be 0.6 metres more than the maximum garage door width permitted on the lot.

.11 Maximum Garage Projection: no garage facing the front lot line shall project into the front yard more than 2.5 metres beyond a porch or front wall of a dwelling.

.12 Minimum Setback from a Natural System (NS) zone: 10 metres.

12.1772 Exception 1772

12.1772.1 The lands shall only be used for the following purposes:

.1 shall only be used for those purposes permitted in a R1 zone.

12.1772.2 The lands shall be subject to the following requirements and restrictions:

.1 Minimum Lot Area: 450 square metres

.2 Minimum Lot Width:

- .a Interior Lot: 15.0 metres.
- .b Corner Lot: 16.8 metres.

.3 Minimum Lot Depth: 30 metres.

.4 Minimum Front Yard Depth: 4.5 metres to the front wall of the dwelling and 6.0 metres to the front of the garage door.

.5 Minimum Rear Yard Depth: 7.5 metres.

.6 Minimum Interior Side Yard Width:

- .a 0.6 metres, provided the combined total of the interior side yards on an interior lot is not less than 1.8 metres.
- .b 1.2 metres where the side yard abuts a public walkway or a non-residential zone.

.7 Minimum Exterior Side Yard Width: 3.0 metres, except where a garage faces the exterior side lot line the minimum setback to the front of the garage shall be 6.0 metres.

.8 Maximum Gross Floor Area of a detached garage: 40 square metres.

.9 Minimum Landscaped Open Space:

- .a 40 percent of the minimum front yard area;
- .b 30 percent of the minimum front yard area if the acute angle at the intersection of the side lot lines extended beyond the front lot line is greater than 25 degrees.

.10 Maximum Garage Door Width:

- .a the maximum garage door width shall be 5.5 metres on a lot having a lot width less than 16 metres but greater than or equal to 15 metres;
- .b the garage door width may be widened by an extra 0.6 metres if the front of the garage is not more than 2.5 metres closer to the front lot line than the ground floor main entrance of the dwelling unit;

- .c the garage door width restriction does not apply to the garage door facing a flankage lot line or on a lot having a lot width greater than or equal to 16 metres; and
- .d the interior garage width, as calculated 3 metres from the garage opening, shall not be 0.6 metres more than the maximum garage door width permitted on the lot.

.11 Maximum Garage Projection: no garage facing the front lot line shall project into the front yard more than 2.5 metres beyond a porch or front wall of a dwelling.

.12 Minimum Setback from a Natural System (NS) zone: 10 metres.

12.1773 Exception 1773

12.1773.1 The lands shall only be used for the following purposes:

.1 shall only be used for those purposes permitted in a R1 zone.

12.1773.2 The lands shall be subject to the following requirements and restrictions:

.1 Minimum Lot Area: 495 square metres

.2 Minimum Lot Width:

- .a Interior Lot: 15.0 metres.
- .b Corner Lot: 16.8 metres.

.3 Minimum Lot Depth: 33 metres.

.4 Minimum Front Yard Depth: 4.5 metres to the front wall of the dwelling and 6.0 metres to the front of the garage door.

.5 Minimum Rear Yard Depth: 7.5 metres.

.6 Minimum Interior Side Yard Width:

- .a 0.6 metres, provided the combined total of the interior side yards on an interior lot is not less than 1.8 metres.
- .b 1.2 metres where the side yard abuts a public walkway or a non-residential zone.

.7 Minimum Exterior Side Yard Width: 3.0 metres, except where a garage faces the exterior side lot line the minimum setback to the front of the garage shall be 6.0 metres.

.8 Maximum Gross Floor Area of detached garage: 40 square metres.

.9 Minimum Landscaped Open Space:

- .a 40 percent of the minimum front yard area;
- .b 30 percent of the minimum front yard area if the acute angle at the intersection of the side lot lines extended beyond the front lot line is greater than 25 degrees.

.10 Maximum Garage Door Width:

- .a the maximum garage door width shall be 5.5 metres on a lot having a lot width less than 16 metres but greater than or equal to 15 metres;
- .b the garage door width may be widened by an extra 0.6 metres if the front of the garage is not more than 2.5 metres closer to the front lot line than the ground floor main entrance of the dwelling unit;

- .c the garage door width restriction does not apply to the garage door facing a flankage lot line or on a lot having a lot width greater than or equal to 16 metres; and
- .d the interior garage width, as calculated 3 metres from the garage opening, shall not be 0.6 metres more than the maximum garage door width permitted on the lot.

.11 Maximum Garage Projection: no garage facing the front lot line shall project into the front yard more than 2.5 metres beyond a porch or front wall of a dwelling.

.12 Minimum Setback from a Natural System (NS) zone: 10 metres.

12.1774 Exception 1774

12.1774.1 The lands shall only be used for the following purposes:

.1 shall only be used for those purposes permitted in a R1 zone.

12.1774.2 The lands shall be subject to the following requirements and restrictions:

.1 Minimum Lot Area: 430 square metres

.2 Minimum Lot Width:

- .a Interior Lot: 16.5 metres.
- .b Corner Lot: 18.3 metres.

.3 Minimum Lot Depth: 26 metres.

.4 Minimum Front Yard Depth: 4.5 metres to the front wall of the dwelling and 6.0 metres to the front of the garage door.

.5 Minimum Rear Yard Depth: 7.5 metres, which may be reduced to 6.0 metres provided that the area of the rear yard is at least 25 percent of the minimum required lot area.

.6 Minimum Interior Side Yard Width:

- .a 0.6 metres, provided the combined total of the interior side yards on an interior lot is not less than 1.8 metres.
- .b 1.2 metres where the side yard abuts a public walkway or a non-residential zone.

.7 Minimum Exterior Side Yard Width: 3.0 metres, except where a garage faces the exterior side lot line the minimum setback to the front of the garage shall be 6.0 metres.

.8 Minimum Landscaped Open Space:

- .a 40 percent of the minimum front yard area;
- .b 30 percent of the minimum front yard area if the acute angle at the intersection of the side lot lines extended beyond the front lot line is greater than 25 degrees.

.9 Maximum Garage Door Width:

- .a the maximum garage door width shall be 5.5 metres on a lot having a lot width less than 16 metres but greater than or equal to 13.5 metres;
- .b the garage door width may be widened by an extra 0.6 metres if the front of the garage is not more than 2.5 metres closer to the front lot line than the ground floor main entrance of the dwelling unit;
- .c the garage door width restriction does not apply to the garage door facing a flankage lot line or on a lot having a lot width greater than or equal to 16 metres; and

- .d the interior garage width, as calculated 3 metres from the garage opening, shall not be 0.6 metres more than the maximum garage door width permitted on the lot.
- .10 Maximum Garage Projection: no garage facing the front lot line shall project into the front yard more than 2.5 metres beyond a porch or front wall of a dwelling.
- .11 Minimum Setback from a Natural System (NS) zone: 10 metres.

12.1775 Exception 1775

12.1775.1 The lands shall only be used for the following purposes:

- .1 shall only be used for those purposes permitted in a R1 zone.

12.1775.2 The lands shall be subject to the following requirements and restrictions:

- .1 Minimum Lot Area: 590 square metres
- .2 Minimum Lot Width:
 - .a Interior Lot: 18.0 metres.
 - .b Corner Lot: 19.8 metres.
- .3 Minimum Lot Depth: 33 metres.
- .4 Minimum Front Yard Depth: 4.5 metres to the front wall of the dwelling and 6.0 metres to the front of the garage door.
- .5 Minimum Rear Yard Depth: 7.5 metres
- .6 Minimum Interior Side Yard Width: 1.2 metres
- .7 Minimum Exterior Side Yard Width: 3.0 metres, except where a garage faces the exterior side lot line the minimum setback to the front of the garage shall be 6.0 metres.
- .8 Maximum Gross Floor Area of a detached garage: 60 square metres.
- .9 Minimum Landscaped Open Space:
 - .a 40 percent of the minimum front yard area;
 - .b 30 percent of the minimum front yard area if the acute angle at the intersection of the side lot lines extended beyond the front lot line is greater than 25 degrees.
- .10 Maximum Garage Projection: no garage facing the front lot line shall project into the front yard more than 1.5 metres beyond a porch or front wall of a dwelling.
- .11 Minimum Setback from a Natural System (NS) zone: 10 metres.

12.1776 Exception 1776

12.1776.1 The lands shall only be used for the following purposes:

- .1 those purposes permitted in a R1 zone,
- .2 flood and erosion control purposes.

12.1776.2 The lands shall be subject to the following requirements and restrictions:

- .1 Minimum Lot Area: 690 square metres
- .2 Minimum Lot Width:
 - .a Interior Lot: 21.0 metres.
 - .b Corner Lot: 22.8 metres.
- .3 Minimum Lot Depth: 33 metres.
- .4 Minimum Front Yard Depth: 4.5 metres to the front wall of the dwelling and 6.0 metres to the front of the garage door.
- .5 Minimum Rear Yard Depth: 7.5 metres
- .6 Minimum Interior Side Yard Width: 1.2 metres for the first storey or part thereof, plus 0.3 metres for each additional storey or part thereof.
- .7 Minimum Exterior Side Yard Width: 3.0 metres, except where a garage faces the exterior side lot line the minimum setback to the front of the garage shall be 6.0 metres.
- .8 Maximum Gross Floor Area of a detached garage: 60 square metres.
- .9 Minimum Landscaped Open Space:
 - .a 40 percent of the minimum front yard area;
 - .b 30 percent of the minimum front yard area if the acute angle at the intersection of the side lot lines extended beyond the front lot line is greater than 25 degrees.
- .10 Maximum Garage Projection: no garage facing the front lot line shall project into the front yard more than 1.5 metres beyond a porch or front wall of a dwelling.
- .11 Minimum Setback from a Natural System (NS) zone: 10 metres.

12.1777 Exception 1777

12.1777.1 The lands shall only be used for the following purposes:

- .1 those purposes permitted in a R1 zone,
- .2 flood and erosion control purposes.

12.1777.2 The lands shall be subject to the following requirements and restrictions:

- .1 Minimum Lot Area: 790 square metres
- .2 Minimum Lot Width:
 - .a Interior Lot: 24.0 metres.
 - .b Corner Lot: 25.8 metres.
- .3 Minimum Lot Depth: 33 metres.
- .4 Minimum Front Yard Depth: 4.5 metres to the front wall of the dwelling and 6.0 metres to the front of the garage door.
- .5 Minimum Rear Yard Depth: 7.5 metres
- .6 Minimum Interior Side Yard Width: 2 metres.
- .7 Minimum Exterior Side Yard Width: 3.0 metres, except where a garage faces the exterior side lot line the minimum setback to the front of the garage shall be 6.0 metres.
- .8 Maximum Gross Floor Area of a detached garage: 60 square metres.
- .9 Minimum Landscaped Open Space:
 - .a 40 percent of the minimum front yard area;
 - .b 30 percent of the minimum front yard area if the acute angle at the intersection of the side lot lines extended beyond the front lot line is greater than 25 degrees.
- .10 Maximum Garage Projection: no garage facing the front lot line shall project into the front yard beyond a porch or front wall of a dwelling.
- .11 Minimum Setback from a Natural System (NS) zone: 10 metres.

12.1778 Exception 1778

12.1778.1 The lands shall only be used for the following purposes:

- .1 the uses permitted in the GC zone to this by-law, except for an amusement arcade; and,
- .2 movie theatres.

12.1778.2 The lands shall be subject to the following requirements and restrictions:

- .1 Minimum Street Setback shall be not less than the following:
 - .a Kennedy Road North: 36 metres
 - .b Vodden Street: 31 metres
 - .c Hansen Road: 31 metres
- .2 Minimum Interior Side Yard Width abutting a residential zone: six (6) metres;
- .3 Minimum Rear Yard Depth abutting a residential zone: six (6) metres;
- .4 Maximum Coverage: thirty (30) percent of the lot area;
- .5 Maximum Height: main building 10.6 metres, accessory building six (6) metres.
- .6 movie theatres shall only be permitted up to an aggregate maximum of 3 screens and 780 seats.

12.1779 Exception 1779

12.1779.1 The lands shall only be used for the following purposes:

- .1 flood and erosion control;
- .2 conservation area or purposes; and
- .3 purposes accessory to other permitted purposes.

12.1779.2 The lands shall be subject to the following requirements and restrictions:

- .1 no person shall erect, alter or use any building or structure for any purpose except that of flood and erosion control.

12.1780 Exception 1780

12.1780.1 The lands shall only be used for the following purposes:

- .1 shall only be used for the purposes permitted in an R1 zone.

12.1780.2 The lands shall be subject to the following requirements and restrictions:

- .1 Minimum Lot Area: 549 square metres
- .2 Minimum Lot Width:
 - .a Interior Lot: 18.3 metres.
 - .b Corner Lot: 20.1 metres.
- .3 Minimum Lot Depth: 30.0 metres.
- .4 Minimum Front Yard Depth: 4.5 metres, but 6.0 metres to the opening of a garage.
- .5 Minimum Exterior Side Yard Width: 3.0 metres, except where a garage faces the exterior side lot line, the minimum setback to the front of the garage shall be 6.0 metres.
- .6 Minimum Rear Yard Depth: 7.0 metres.
- .7 Minimum Interior Side Yard Width:
 - .a 0.6 metres, provided the combined total of the interior side yards on an interior lot is not less than 1.8 metres.
 - .b 1.2 metres where the side yard abuts a public walkway or a non-residential use.
- .8 Minimum Landscaped Open Space:
 - .a 40% of the minimum front yard area; and,
 - .b 30% of the minimum front yard area if the acute angle at the intersection of the side lot lines extended beyond the front lot line is greater than 25 degrees.
- .9 where a lot has a width greater than 13.5 metres and the width of the porch is 50% or less, of the ground floor width of the dwelling unit, excluding any garage, the porch may encroach 2.0 metres into the minimum front yard depth.
- .10 no dwelling shall be located closer than 10.0 metres to a Natural System (NS) zone.

12.1781 Exception 1781

12.1781.1 The lands shall only be used for the following purposes:

- .1 Commercial
 - .a a retail establishment having no outside storage;
 - .b a bank, trust company, finance company;
 - .c an office;
 - .d a personal service shop;
 - .e a health centre;
 - .f a dry cleaning and laundry distribution station;
 - .g a laundromat;
 - .h a dining room restaurant, a convenience restaurant, and a take-out restaurant;
 - .i an animal hospital
 - .j a supermarket.
- .2 Non-Commercial
 - .a a library;
 - .b a community club.
- .3 Accessory
 - .a purposes accessory to other permitted uses.

12.1781.2 The lands shall be subject to the following requirements and restrictions:

- .1 Minimum Front Yard Depth: 6 metres
- .2 Minimum Exterior Side Yard Width: 4 metres
- .3 Minimum Rear Yard Depth: 15 metres
- .4 Landscaped Open Space:
 - .a 100 percent of the minimum required front yard depth
 - .b 75 percent of the minimum required exterior side yard width
 - .c 15 percent of the minimum required interior side yard width
 - .d 20 percent of the minimum required rear yard depth.

.5 a supermarket shall have a maximum gross leasable area of 1,858 square metres.

12.1782 Exception 1782

12.1782.1 The lands shall only be used for the following purposes:

.1 shall only be used for the purposes permitted in an R1 zone.

12.1782.2 The lands shall be subject to the following requirements and restrictions:

.1 Minimum Lot Area: 720 square metres.

.2 Minimum Lot Width: 24.3 metres.

.3 Minimum Lot Depth: 30 metres.

.4 Minimum Front Yard Depth: 6.0 metres to the front of the garage and 4.5 metres to the front wall of the dwelling.

.5 Minimum Exterior Side Yard Width: 3.0 metres, except where a garage faces the exterior side lot line, the minimum setback to the front of the garage shall be 6.0 metres.

.6 Minimum Rear Yard Depth: 7.5 metres.

.7 Minimum Interior Side Yard Width: 2 metres.

.8 Minimum landscaped Open Space:

- .a 40% of the minimum front yard area; and,
- .b 30% of the minimum front yard area if the acute angle at the intersection of the side lot lines extended beyond the front lot line is greater than 25 degrees.

.9 Maximum Garage Projection: no garage facing the front lot line shall project into the front yard beyond a porch or front wall of a dwelling.

.10 Maximum Porch Projection: where a lot has a width equal to or greater than 15.2 metres and the width of the porch is 50%, or less, of the ground floor width of the dwelling unit, excluding any garage, the porch may encroach 2.0 metres into the minimum front yard depth.

12.1782.3 for the purposes of Exception 1782:

.1 In this section, for the purposes of determining the maximum garage projection, the front wall of a dwelling unit shall be defined as the portion of the wall that is closest to the front lot line on the ground level of the dwelling. The projection from the front wall on the second level of the dwelling wall not be considered.

12.1783 Exception 1783**12.1783.1 The lands shall only be used for the following purposes:**

- .1 shall only be used for the purposes permitted in an R1 zone.

12.1783.2 The lands shall be subject to the following requirements and restrictions:

- .1 Minimum Lot Area: 549 square metres.
- .2 Minimum Lot Width:
 - .a Interior Lot: 18.3 metres.
 - .b Corner Lot: 20.1 metres.
- .3 Minimum Lot Depth: 30 metres.
- .4 Minimum Front Yard Depth: 4.5 metres to the front wall of the dwelling and 6.0 metres to the front of the garage door.
- .5 Minimum Exterior Side Yard Width: 3.0 metres, except where a garage faces the exterior side lot line, the minimum setback to the front of the garage shall be 6.0 metres.
- .6 Minimum Rear Yard Depth: 7.5 metres.
- .7 Minimum Interior Side Yard Width: 1.2 metres for the first storey, and an additional 0.3 metres for each additional storey.
- .8 Minimum Landscaped Open Space:
 - .a 40% of the minimum front yard area; and,
 - .b 30% of the minimum front yard area if the acute angle at the intersection of the side lot lines extended beyond the front lot line is greater than 25 degrees.
- .9 Maximum Garage Projection: no garage facing the front lot line shall project into the front yard beyond a porch or front wall of a dwelling.
- .10 Maximum Porch Projection: where a lot has a width equal to or greater than 15.2 metres and the width of the porch is 50%, or less, of the ground floor width of the dwelling unit, excluding any garage, the porch may encroach 2.0 metres into the minimum front yard depth.
- .11 no dwelling or inground swimming pool shall be located closer than 7.5 metres to the TransCanada Pipeline Easement.

12.1783.3 for the purposes of Exception 1783:

- .1 In this exception, for the purposes of determining the maximum garage projection, the front wall of a dwelling unit shall be defined as the portion of the wall that is closest to the front lot line on

the ground level of the dwelling. The projection from the front wall on the second level of the dwelling wall not be considered.

12.1784 Exception 1784

12.1784.1 The lands shall only be used for the following purposes:

.1 shall only be used for the purposes permitted in an R1 zone.

12.1784.2 The lands shall be subject to the following requirements and restrictions:

.1 Minimum Lot Area: 456 square metres.

.2 Minimum Lot Width:

- .a Interior Lot: 15.2 metres.
- .b Corner Lot: 17 metres.

.3 Minimum Lot Depth: 30 metres.

.4 Minimum Front Yard Depth: 4.5 metres to the front wall of the dwelling and 6.0 metres to the front of the garage door.

.5 Minimum Exterior Side Yard Width: 3.0 metres, except where a garage faces the exterior side lot line, the minimum setback to the front of the garage shall be 6.0 metres.

.6 Minimum Rear Yard Depth: 7.5 metres.

.7 Minimum Interior Side Yard Width: 1.2 metres.

.8 Minimum Landscaped Open Space:

- .a 40% of the minimum front yard area; and,
- .b 30% of the minimum front yard area if the acute angle at the intersection of the side lot lines extended beyond the front lot line is greater than 25 degrees.

.9 Maximum Garage Door Width:

- .a the maximum garage door width shall be 5.5 metres on a lot having a lot width less than 16 metres but greater than or equal to 15 metres;
- .b the garage door width may be widened by an extra 0.6 metres if the front of the garage is not more than 1.0 metre closer to the front wall of the dwelling;
- .c the garage door width restriction does not apply to the garage door facing a flankage lot line or on a lot having a lot width greater than or equal to 16 metres;
- .d the interior garage width, as calculated 3 metres from the garage opening shall not exceed 0.6 metres over the maximum garage door width permitted on the lot.

.10 Maximum Garage Projection: no garage facing the front lot line shall project into the front yard beyond a porch or front wall of a dwelling.

.11 Maximum Porch Projection: where a lot has a width equal to or greater than 15.2 metres and the width of the porch is 50%, or less, of the ground floor width of the dwelling unit, excluding any garage, the porch may encroach 2.0 metres into the minimum front yard depth.

12.1784.3 for the purposes of Exception 1784:

.1 In this exception, for the purposes of determining the maximum garage projection, the front wall of a dwelling unit shall be defined as the portion of the wall that is closest to the front lot line on the ground level of the dwelling. The projection from the front wall on the second level of the dwelling wall not be considered.

12.1785 Exception 1785

12.1785.1 The lands shall only be used for the following purposes:

.1 shall only be used for the purposes permitted in an R1 zone.

12.1785.2 The lands shall be subject to the following requirements and restrictions:

.1 Minimum Lot Area: 540 square metres.

.2 Minimum Lot Width:

- .a Interior Lot: 24 metres.
- .b Exterior Lot: 25.8 metres.

.3 Minimum Lot Depth: 0 metres.

.4 Minimum Front Yard: 4.5 metres to the front wall of the dwelling and 6.0 metres to the front of the garage door.

.5 Minimum Exterior Side Yard Width: 3.0 metres, except where a garage faces the exterior side lot line, the minimum setback to the front of the garage shall be 6.0 metres.

.6 Minimum Rear Yard Depth: 4.5 metres.

.7 Minimum Interior Side Yard Width: 1.5 metres.

.8 Minimum Landscaped Open Space:

- .a 40% of the minimum front yard area; and,
- .b 30% of the minimum front yard area if the acute angle at the intersection of the side lot lines extended beyond the front lot line is greater than 25 degrees.

.9 Maximum Porch Projection: where a lot has a width equal to or greater than 15.2 metres and the width of the porch is 50%, or less, of the ground floor width of the dwelling unit, excluding any garage, the porch may encroach 2.0 metres into the minimum front yard depth.

.10 Maximum Garage Projection: no garage facing the front lot line shall project into the front yard beyond a porch or front wall of a dwelling.

12.1786 Exception 1786

12.1786.1 The lands shall only be used for the following purposes:

.1 shall only be used for the purposes permitted in an R1 zone.

12.1786.2 The lands shall be subject to the following requirements and restrictions:

.1 Minimum Lot Area: 456 square metres

.2 Minimum Lot Width:

- .a Interior Lot: 15.2 metres.
- .b Corner Lot: 17 metres.

.3 Minimum Lot Depth: 30 metres.

.4 Minimum Front Yard Depth: 4.5 metres to the front wall of the dwelling and 6.0 metres to the front of the garage door.

.5 Minimum Exterior Side Yard Width: 3.0 metres, except where a garage faces the exterior side lot line, the minimum setback to the front of the garage shall be 6.0 metres.

.6 Minimum Rear Yard Depth: 7.5 metres.

.7 Minimum Interior Side Yard Width: 1.2 metres.

.8 Minimum Landscaped Open Space:

- .a 40% of the minimum front yard area; and,
- .b 30% of the minimum front yard area if the acute angle at the intersection of the side lot lines extended beyond the front lot line is greater than 25 degrees.

.9 Maximum Garage Door Width:

- .a the maximum garage door width shall be 5.5 metres on a lot having a lot width less than 16 metres but greater than or equal to 15 metres;
- .b the garage door width may be widened by an extra 0.6 metres if the front of the garage is not more than 1.0 metre closer to the front lot line than the ground floor main entrance of the dwelling;
- .c the garage door width restriction does not apply to the garage door facing a flankage lot line or on a lot having a lot width greater than or equal to 16 metres;
- .d the interior garage width, as calculated 3 metres from the garage opening shall not exceed 0.6 metres over the maximum garage door width permitted on the lot.

.10 Maximum Garage Projection: no garage facing the front lot line shall project into the front yard beyond a porch or front wall of a dwelling.

.11 Maximum Porch Projection: where a lot has a width equal to or greater than 15.2 metres and the width of the porch is 50%, or less, of the ground floor width of the dwelling unit, excluding any garage, the porch may encroach 2.0 metres into the maximum front yard depth.

12.1786.3 for the purposes of Exception 1786:

.1 In this section, for the purposes of determining the maximum garage projection, the front wall of a dwelling unit shall be defined as the portion of the wall that is closest to the front lot line on the ground level of the dwelling. The projection from the front wall on the second level of the dwelling wall not be considered.

12.1787 Exception 1787

12.1787.1 The lands shall only be used for the following purposes:

.1 shall only be used for the purposes permitted in an R1 zone.

12.1787.2 The lands shall be subject to the following requirements and restrictions:

.1 Minimum Lot Area: 549 square metres

.2 Minimum Lot Width:

- .a Interior Lot: 18.3 metres.
- .b Corner Lot: 20.1 metres.

.3 Minimum Lot Depth: 30 metres.

.4 Minimum Front Yard Depth: 4.5 metres to the front wall of the dwelling and 6.0 metres to the front of the garage door.

.5 Minimum Exterior Side Yard Width: 3.0 metres, except where a garage faces the exterior side lot line, the minimum setback to the front of the garage shall be 6.0 metres.

.6 Minimum Rear Yard Depth: 7.5 metres.

.7 Minimum Interior Side Yard Width: 1.2 metres for the first storey, and an additional 0.3 metres for each additional storey.

.8 Minimum Landscaped Open Space:

- .a 40% of the minimum front yard area; and,
- .b 30% of the minimum front yard area if the acute angle at the intersection of the side lot lines extended beyond the front lot line is greater than 25 degrees.

.9 Maximum Garage Projection: no garage facing the front lot line shall project into the front yard beyond a porch or front wall of a dwelling.

.10 Maximum Porch Projection: where a lot has a width equal to or greater than 15.2 metres and the width of the porch is 50%, or less, of the ground floor width of the dwelling unit, excluding any garage, the porch may encroach 2.0 metres into the minimum front yard depth.

12.1787.3 for the purposes of Exception 1787:

.1 In this exception, for the purposes of determining the maximum garage projection, the front wall of a dwelling unit shall be defined as the portion of the wall that is closest to the front lot line on the ground level of the dwelling. The projection from the front wall on the second level of the dwelling wall not be considered.

12.1788 Exception 1788

12.1788.1 The lands shall only be used for the following purposes:

- .1 shall only be used for the purposes permitted in an R1 zone.

12.1788.2 The lands shall be subject to the following requirements and restrictions:

- .1 Minimum Lot Area: 639 square metres
- .2 Minimum Lot Width:
 - .a Interior Lot: 21.3 metres.
 - .b Corner Lot: 23.1 metres.
- .3 Minimum Lot Depth: 30 metres.
- .4 Minimum Front Yard Depth: 6.0 metres to the front of the garage and 4.5 metres to the front wall of the dwelling.
- .5 Minimum Exterior Side Yard Width: 3.0 metres, except where a garage faces the exterior side lot line, the minimum setback to the front of the garage shall be 6.0 metres.
- .6 Minimum Rear Yard Depth: 7.5 metres.
- .7 Minimum Interior Side Yard Width: 1.5 metres for the first storey, and an additional 0.3 metres for each additional storey.
- .8 Minimum Landscaped Open Space:
 - .a 40% of the minimum front yard area; and,
 - .b 30% of the minimum front yard area if the acute angle at the intersection of the side lot lines extended beyond the front lot line is greater than 25 degrees.
- .9 Maximum Garage Projection: no garage facing the front lot line shall project into the front yard beyond a porch or front wall of a dwelling.
- .10 Maximum Porch Projection: where a lot has a width equal to or greater than 15.2 metres and the width of the porch is 50%, or less, of the ground floor width of the dwelling unit, excluding any garage, the porch may encroach 2.0 metres into the minimum front yard depth.

12.1788.3 for the purposes of Exception 1788:

- .1 In this exception, for the purposes of determining the maximum garage projection, the front wall of a dwelling unit shall be defined as the portion of the wall that is closest to the front lot line on the ground level of the dwelling. The projection from the front wall on the second level of the dwelling wall not be considered.

12.1789 Exception 1789

12.1789.1 The lands shall only be used for the following purposes:

.1 Shall only be used for the purposes permitted in an R1 zone.

12.1789.2 The lands shall be subject to the following requirements and restrictions:

.1 Minimum Lot Area: 732 square metres

.2 Minimum Lot Width:

- .a Interior Lot: 24.4 metres.
- .b Corner Lot: 26.2 metres.

.3 Minimum Lot Depth: 30 metres.

.4 Minimum Front Yard Depth: 6.0 metres to the front of the garage and 4.5 metres to the front wall of the dwelling.

.5 Minimum Exterior Side Yard Width: 3.0 metres, except where a garage faces the exterior side lot line, the minimum setback to the front of the garage shall be 6.0 metres.

.6 Minimum Rear Yard Depth: 7.5 metres.

.7 Minimum Interior Side Yard Width: 2 metres.

.8 Minimum Landscaped Open Space:

- .a 40% of the minimum front yard area; and,
- .b 30% of the minimum front yard area if the acute angle at the intersection of the side lot lines extended beyond the front lot line is greater than 25 degrees.

.9 Maximum Garage Projection: no garage facing the front lot line shall project into the front yard beyond a porch or front wall of a dwelling.

.10 Maximum Porch Projection: where a lot has a width equal to or greater than 15.2 metres and the width of the porch is 50%, or less, of the ground floor width of the dwelling unit, excluding any garage, the porch may encroach 2.0 metres into the minimum front yard depth.

12.1789.3 for the purposes of Exception 1789:

.1 For the purposes of determining the maximum garage projection, the front wall of a dwelling unit shall be defined as the portion of the wall that is closest to the front lot line on the ground level of the dwelling. The projection from the front wall on the second level of the dwelling will not be considered.

12.1790 Exception 1790

12.1790.1 The lands shall only be used for the following purposes:

- .1 shall only be used for the purposes permitted in R1 - Exception 1783 zone.

12.1790.2 The lands shall be subject to the following requirements and restrictions:

- .1 the requirements and restrictions as set out in R1- Exception 1783 zone.
- .2 Minimum Setback from a Natural System (NS) zone: 10 metres.

12.1790.3 for the purposes of Exception 1790:

- .1 for the purposes of determining the maximum garage projection, the front wall of a dwelling unit shall be defined as the portion of the wall that is closest to the front lot line on the ground level of the dwelling. The projection from the front wall on the second level of the dwelling will not be considered.

12.1791 Exception 1791

12.1791.1 The lands shall only be used for the following purposes:

- .1 shall be only used for the purposes permitted in a RE zone;

12.1791.2 The lands shall be subject to the following requirements and restrictions:

- .1 Minimum Lot Width: 29 metres

12.1792 Exception 1792

12.1792.1 The lands shall only be used for the following purposes:

- .1 Industrial:
 - .a the manufacturing, cleaning, packaging, processing, repairing or assembly of goods, foods or materials within an enclosed building, but excluding a motor vehicle repair shop and a motor vehicle body shop as a principal or accessory use;
 - .b a printing establishment;
 - .c a warehouse; and,
 - .d a research and development facility;
- .2 Non-Industrial:
 - .a a radio or television broadcasting and transmission establishment;
 - .b a furniture and appliance store;
 - .c a recreation facility or structure; and,
 - .d a community club;
- .3 Accessory:
 - .a an associated educational purpose;
 - .b an associated office;
 - .c a retail outlet operated in connection with a particular purpose permitted by Exception 1792.1(1)(a), provided that the total gross commercial floor area of the retail outlet is not more than 15 percent of the total gross industrial floor area of the particular industrial use; and;
 - .d purposes accessory to the other permitted purposes.

12.1792.2 The lands shall be subject to the following requirements and restrictions:

- .1 Minimum Lot Area: 1.2 hectares;
- .2 Minimum Lot Width: 60.0 metres;
- .3 Setback of Building(s):
 - .a where a single building is proposed on any particular lot: a minimum of 14.0 metres to and a maximum of 35 metres from Highway No. 407;
 - .b where multiple buildings are proposed on any particular lot:

- .i at least one building having a minimum Gross Floor Area of 1858.0 square metres shall be located a minimum of 14.0 metres to and a maximum of 35 metres from Highway No. 407; and,
- .ii all other buildings shall be located a minimum of 14.0 metres from Highway No. 407;
- .c a minimum of 15.0 metres to Intermodal Drive;

.4 except at approved access locations, landscaped open space areas shall be provided as follows:

- .a a minimum 12.0 metre wide strip abutting the Highway 407 right-of-way corridor;
- .b a minimum 6.0 metre with strip along the lot line segment adjacent and parallel to Goreway Drive; and,
- .c a minimum 3.0 metres wide strip along all other perimeter lot lines which are not shared by another lot in a PE – Exception 1792 zone;

.5 Maximum Building Height: 13.7 metres, save and except for an ancillary office component in which case the maximum building height shall be 8 storeys;

.6 Maximum Floor Space Index: 0.55

.7 Loading Doors: no overhead doors shall be permitted on a building wall that faces:

- .a Goreway Drive;
- .b Intermodal Drive, unless screened from a public road(s);
- .c a Natural System zone, unless screened from a public road(s);
- .d Highway No. 407, if the face of the wall is located 180.0 metres or less from Highway No. 407; or,
- .e Highway No. 407, if the face of the wall is located further than 180.0 metres from Highway No. 407, unless screened from a public road(s);

.8 Waste Disposal:

- .a no opening for waste disposal facilities shall be permitted on a building wall that faces:
 - .i Goreway Drive;
 - .ii Intermodal Drive, unless screened from a public road(s); or,
 - .iii a Natural System zone, unless screened from a public road(s);
 - .iv Highway No. 407, if the face of the wall is located 180.0 metres or less from Highway No. 407; or,
 - .v Highway No. 407, if the face of the wall is located further than 180.0 metres from Highway No. 407, unless screened from a public road(s);
- .b all garbage and refuse storage, including any containers for the storage of recyclable materials, shall be located within a building;

.9 **Parking and Loading/Unloading:**

.a trucks and trailers shall not be loaded, unloaded or parked:

.i in a yard between a building face and Highway 407 or Goreway Drive;

.ii within 40.0 metres of Highway No. 407;

.iii within 80.0 metres of Goreway Drive; or,

.iv within 15.0 metres of Intermodal Drive;

.b outdoor areas used for truck and trailer loading, unloading and/or parking shall be screened from view from public roads;

.10 all rooftop mechanical units located within 100.0 metres of Highway No. 407, Goreway Drive, or Intermodal Drive shall be screened;

.11 the purposes permitted under Exception 1792.1 shall not be permitted within a multi-unit industrial mall;

.12 no outdoor display and/or sales or storage shall be permitted.

12.1792.3 for the purposes of Exception 1792:

.1 a building wall, or portion thereof, shall be deemed to face a public road or a specific zone designation if, within a distance of 500.0 metres, a line drawn perpendicular to the alignment of the road or the boundary of the zone in question intersects with the face of the particular building wall without being obstructed by an intervening building; and,

.2 a building wall, or portion thereof, shall be deemed to be screened from a public road if an intervening building, structure, berm, wall, fence or landscaping buffer functions as an opaque barrier which obstructs direct view of the building wall, or portion thereof, from the particular public road.

12.1793 Exception 1793

12.1793.1 The lands shall only be used for the following purposes:

- .1 Industrial:
 - .a the manufacturing, cleaning, packaging, processing, repairing or assembly of goods, foods or materials within an enclosed building, but excluding a motor vehicle repair shop and a motor vehicle body shop as a principal or accessory use;
 - .b a printing establishment;
 - .c a warehouse; and,
 - .d a research and development facility;
- .2 Non-Industrial:
 - .a a radio or television broadcasting and transmission establishment;
 - .b a furniture and appliance store;
 - .c a recreation facility or structure; and,
 - .d a community club;
- .3 Accessory:
 - .a an associated educational purpose;
 - .b an associated office;
 - .c a retail outlet operated in connection with a particular purpose permitted by Exception 1793.1(1)(a), provided that the total gross commercial floor area of the retail outlet is not more than 15 percent of the total gross industrial floor area of the particular industrial use; and;
 - .d purposes accessory to the other permitted purposes.

12.1793.2 The lands shall be subject to the following requirements and restrictions:

- .1 Minimum Lot Area: 1.2 hectares;
- .2 Minimum Lot Width: 60.0 metres;
- .3 Setback of Building(s):
 - .a a minimum of 15.0 metres to Intermodal Drive; and,
 - .b a minimum of 20.0 metres to a Residential Zone; however, an operation involving cold storage as a principal or accessory use shall not be located within 30.0 metres of a Residential Zone;

- .4 except at approved access locations, landscaped open space areas shall be provided as follows:
 - .a a minimum 18.0 metre wide strip abutting a lot line which also forms the rear lot line of a lot within a Residential zone, but in all other instances where a lot abuts a Residential Zone, a minimum 12.0 metre wide strip shall be provided;
 - .b a minimum 3.0 metre wide strip abutting Intermodal Drive; and,
 - .c a minimum 3.0 metre wide strip along all other perimeter lot lines which are not shared by another lot in a PE - Exception 1793 zone;
- .5 Maximum Building Height: 13.7 metres, save and except for an ancillary office component in which case the maximum building height shall be 2 storeys or 13.7 metres, whichever is the lesser;
- .6 Maximum Floor Space Index: 0.55
- .7 Loading Doors: no overhead doors shall be permitted on a building wall that faces:
 - .a Intermodal Drive;
 - .b a Residential Zone;
 - .c a Natural System Zone, unless screened from a public road(s);
 - .d Highway No. 407, if the face of the wall is located 180.0 metres or less from Highway No. 407; or,
 - .e Highway No. 407, if the face of the wall is located further than 180.0 metres from Highway No. 407, unless screened from a public road(s);
- .8 Waste Disposal:
 - .a no opening for waste disposal facilities shall be permitted on a building wall that faces:
 - .i Intermodal Drive;
 - .ii a Residential Zone;
 - .iii a Natural System Zone, unless screened from a public road(s);
 - .iv Highway No. 407, if the face of the wall is located 180.0 metres or less from Highway No. 407; or,
 - .v Highway No. 407, if the face of the wall is located further than 180.0 metres from Highway No. 407, unless screened from a public road(s);
 - .b all garbage and refuse storage, including any containers for the storage of recyclable materials, shall be located within a building;
- .9 Parking and Loading/Unloading:
 - .a trucks and trailers shall not be loaded, unloaded or parked:

- .i in a yard between a building face and Intermodal Drive or an abutting Residential Zone;
- .ii within 30.0 metres of Intermodal Drive or a Residential Zone; or,
- .iii in a yard between a building face and Highway No. 407, if the face of the wall is located 180.0 metres or less from Highway No. 407;
- .b outdoor areas used for truck and trailer loading, unloading and/or parking shall be screened from view from public roads;
- .c outdoor areas used for truck and trailer loading, unloading and/or parking shall be screened from view from any Residential Zone using a 3.2 metre high combination berm/fence barrier consisting of 1.0 metre high berm and a 2.2 metre high opaque fence; and,
- .d trucks and trailers having refrigeration units shall not be operated, loaded, unloaded or parked within 100.0 metres of a Residential Zone;

.10 all rooftop mechanical units located within 100.0 metres of Highway No. 407, Intermodal Drive, or a Residential Zone shall be screened;

.11 for industrial buildings containing multiple units, each individual unit shall have a minimum Gross Floor Area of 1858.0 square metres, but in instances where the building has a total Gross Floor Area of 9290.0 square metres or greater, a maximum of two (2) individual units, each having a minimum Gross Floor Area of 465.0 square metres, shall also be permitted within the building;

.12 a bank, trust company or financial institution, a restaurant, a banquet hall, or a commercial, technical or recreational school shall not be permitted;

.13 no outdoor display and/or sales or storage shall be permitted.

12.1793.3 for the purposes of Exception 1793:

- .1 a building wall, or portion thereof, shall be deemed to face a public road or a specific zone designation if, within a distance of 300.0 metres, a line drawn perpendicular to the alignment of the road or the boundary of the zone in question intersects with the face of the particular building wall without being obstructed by an intervening building;
- .2 a building wall, or portion thereof, shall be deemed to be screened from a public road if an intervening building, structure, berm, wall, fence or landscaped buffer functions as an opaque barrier which obstructs direct view of the building wall, or portion thereof, from the particular public road;

12.1794 Exception 1794

12.1794.1 The lands shall only be used for the following purposes:

- .1 Industrial:
 - .a the manufacturing, cleaning, packaging, processing, repairing or assembly of goods, foods or materials within an enclosed building, but excluding a motor vehicle repair shop and a motor vehicle body shop as a principal or accessory use;
 - .b non-obnoxious industrial uses involving the storage of goods and materials in the open, including such uses as the storage of trucks, trailers, and intermodal containers and chassis as a principal use, a construction contractor's yard, a landscaping supply yard, a junk or salvage yard, a landscaping yard, an automobile impound facility, a taxi or bus station, a waste transfer station, quarry or pit;
 - .c a printing establishment;
 - .d a warehouse; and,
 - .e a research and development facility;
- .2 Non-Industrial:
 - .a a radio or television broadcasting and transmission establishment;
 - .b a furniture and appliance store;
 - .c a recreation facility or structure; and,
 - .d a community club;
- .3 Accessory:
 - .a an associated educational purpose;
 - .b an associated office;
 - .c a retail outlet operated in connection with a particular purpose permitted by Exception 1794.1(1)(a), provided that the total gross commercial floor area of the retail outlet is not more than 15 percent of the total gross industrial floor area of the particular industrial use; and;
 - .d purposes accessory to the other permitted purposes.

12.1794.2 The lands shall be subject to the following requirements and restrictions:

- .1 Minimum Lot Area: 1.2 hectares;
- .2 Minimum Lot Width: 60.0 metres;
- .3 Minimum Setback to Intermodal Drive: 15.0 metres;

- .4 except at approved access locations, landscaped open space areas shall be provided as follows:
 - .a a minimum 3.0 metre with strip abutting Intermodal Drive; and,
 - .b a minimum 3.0 metre wide strip along all other perimeter lot lines which are not shared by another lot in a PE-Exception 1794 zone;
- .5 Maximum Building Height: 13.7 metres,
- .6 Maximum Floor Space Index: 0.55
- .7 Loading Doors: no overhead doors shall be permitted on a building wall that faces:
 - .a Intermodal Drive;
 - .b a Natural System Zone, unless screened from a public road(s);
- .8 Waste Disposal:
 - .a no opening for waste disposal facilities shall be permitted on a building wall that faces:
 - .i Intermodal Drive; or,
 - .ii a Natural System Zone, unless screened from a public road(s);
 - .b all garbage and refuse storage, including any containers for the storage of recyclable materials, shall be located within a building, unless contained in an enclosure that is screened from view from a public road(s); and,
 - .c refuse storage for food processing purposes, a banquet hall or a restaurant, including any containers for the storage of recyclable materials, shall be contained in a climate controlled area within a building;
- .9 Parking and Loading/Unloading:
 - .a trucks and trailers shall not be loaded, unloaded or parked:
 - .i in a yard between a building face and Intermodal Drive; or,
 - .ii within 30.0 metres of Intermodal Drive;
 - .b outdoor areas used for truck and trailer loading, unloading and/or parking shall be screened from view from public roads;
- .10 Outside Storage:
 - .a shall not be permitted on any portion of a lot required for parking, loading, driveways or landscaped open space;
 - .b Shall not exceed a maximum height of 3.5 metres, or 1 container on a truck chassis, within 30.0 metres of a barrier erected for screening purposes, which may be increased to 5.0 metres for storage located beyond 30.0 metres from a screen barrier;
 - .c where a building does not provide concealment, outside storage shall be screened from view from public roads by an opaque screen barrier having a height equal to the height of

any stored material located within 30.0 metres of the screen barrier, but which in all instances shall have a minimum height of 2.2 metres and a maximum height of 3.5 metres;

- .d shall only be permitted in conjunction with a building having a minimum Gross Floor Area of 1858.0 square metres; and,
- .e shall be confined to the defined rear yard and interior side yard, but in all instances, shall not be located within 60.0 metres of Intermodal Drive; and,

.11 any barrier erected for the purpose of screening outside storage shall consist of a berm and/or fence/wall where the maximum height of the fence/wall shall be 2.2 metres and the berm shall be constructed at a maximum 3:1 slope;

.12 all rooftop mechanical units located within 100.0 metres of Intermodal Drive shall be screened;

12.1794.3 for the purposes of Exception 1794:

- .1 a building wall, or portion thereof, shall be deemed to face a public road or a specific zone designation if, within a distance of 250.0 metres, a line drawn perpendicular to the alignment of the road or the boundary of the zone in question intersects with the face of the particular building wall without being obstructed by an intervening building; and,
- .2 a building wall, or portion thereof, shall be deemed to be screened from a public road if an intervening building, structure, berm, wall, fence or landscaped buffer functions as an opaque barrier which obstructs direct view of the building wall, or portion thereof, from the particular public road.

12.1795 Exception 1795

12.1795.1 The lands shall only be used for the following purposes:

- .1 Industrial:
 - .a the manufacturing, cleaning, packaging, processing, repairing or assembly of goods, foods or materials within an enclosed building, but excluding a motor vehicle repair shop and a motor vehicle body shop as a principal or accessory use;
 - .b non-obnoxious industrial uses involving the storage of goods and materials in the open, including such uses as the storage and rental of equipment and the storage of trucks, trailers, and intermodal containers and chassis, but excluding a construction contractor's yard, a landscaping supply yard, a junk or salvage yard, a wrecking yard, an automobile impound facility, a taxi or bus station, a waste transfer station, quarry or pit;
 - .c a printing establishment;
 - .d a warehouse; and,
 - .e a research and development facility;
- .2 Non-Industrial:
 - .a a radio or television broadcasting and transmission establishment;
 - .b a furniture and appliance store;
 - .c a recreation facility or structure; and,
 - .d a community club;
- .3 Accessory:
 - .a an associated educational purpose;
 - .b an associated office;
 - .c a retail outlet operated in connection with a particular purpose permitted by Exception 1795.1(1)(a), provided that the total gross commercial floor area of the retail outlet is not more than 15 percent of the total gross industrial floor area of the particular industrial use; and;
 - .d purposes accessory to the other permitted purposes.

12.1795.2 The lands shall be subject to the following requirements and restrictions:

- .1 Minimum Lot Area: 1.2 hectares;
- .2 Minimum Lot Width: 60.0 metres;
- .3 Minimum Setback to Intermodal Drive: 15.0 metres;

- .4 except at approved access locations, landscaped open space areas shall be provided as follows:
 - .a a minimum 3.0 metre with strip abutting Intermodal Drive; and,
 - .b a minimum 3.0 metre wide strip along all other perimeter lot lines which are not shared by another lot in a PE - Exception 1795 zone;
- .5 Maximum Building Height: 13.7 metres,
- .6 Maximum Floor Space Index: 0.55
- .7 Loading Doors: no overhead doors shall be permitted on a building wall that faces:
 - .a Intermodal Drive;
 - .b a Natural System (NS) Zone, unless screened from a public road(s);
- .8 Waste Disposal:
 - .a no opening for waste disposal facilities shall be permitted on a building wall that faces:
 - .i Intermodal Drive; or,
 - .ii a Natural System (NS) Zone, unless screened from a public road(s);
 - .b all garbage and refuse storage, including any containers for the storage of recyclable materials, shall be located within a building, unless contained in an enclosure that is screened from view from a public road(s); and,
 - .c refuse storage for food processing purposes, a banquet hall or a restaurant, including any containers for the storage of recyclable materials, shall be contained in a climate controlled area within a building;
- .9 Truck and Trailer Loading/Unloading:
 - .a trucks and trailers shall not be loaded or unloaded:
 - .i in a yard between a building face and Intermodal Drive; or,
 - .ii within 30.0 metres of Intermodal Drive;
 - .b outdoor areas used for truck and trailer loading and/or unloading parking shall be screened from view from public roads;
- .10 Outside Storage:
 - .a outside storage of goods and materials shall not be permitted on any portion of a lot required for parking, loading, driveways or landscaped open space;
 - .b shall not exceed a maximum height of 3.5 metres, or 1 container on a truck chassis, within 30.0 metres of a barrier erected for screening purposes, which may be increased to 5.0 metres for storage located beyond 30.0 metres from a screen barrier;
 - .c where a building does not provide concealment, outside storage shall be screened from view from public roads by an opaque screen barrier having a height equal to the height of

any stored material located within 30.0 metres of the screen barrier, but which in all instances shall have a minimum height of 2.2 metres and a maximum height of 3.5 metres;

- .d shall only be permitted in conjunction with a building having a minimum Gross Floor Area of 929.0 square metres;
- .e outside storage of goods and materials shall be confined to the defined rear yard and interior side yard, but in all instances, shall not be located within 60.0 metres of Intermodal Drive; and,
- .f outside storage of truck and trailer parking shall be confined to the defined rear yard and interior side yard;

.11 any barrier erected for the purpose of screening outside storage shall consist of a berm and/or fence/wall where the maximum height of the fence/wall shall be 2.2 metres and the berm shall be constructed at a maximum 3:1 slope;

.12 all rooftop mechanical units located within 100.0 metres of Intermodal Drive shall be screened;

12.1795.3 for the purposes of Exception 1795:

- .1 a building wall, or portion thereof, shall be deemed to face a public road or a specific zone designation if, within a distance of 200.0 metres, a line drawn perpendicular to the alignment of the road or the boundary of the zone in question intersects with the face of the particular building wall without being obstructed by an intervening building; and,
- .2 a building wall, or portion thereof, shall be deemed to be screened from a public road if an intervening building, structure, berm, wall, fence or landscaped buffer functions as an opaque barrier which obstructs direct view of the building wall, or portion thereof, from the particular public road.

12.1796 Exception 1796

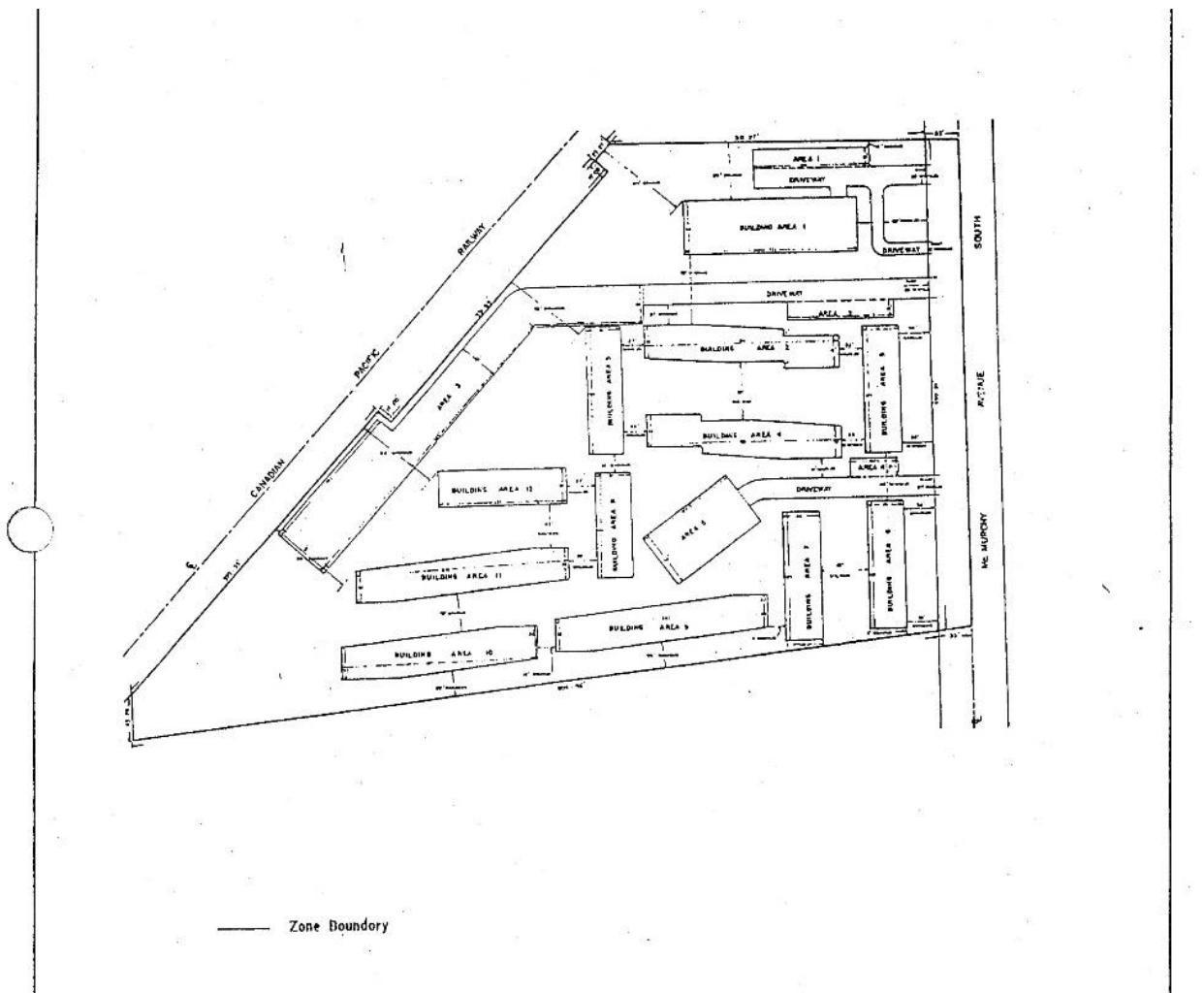
12.1796.1 The lands shall only be used for the following purposes:

- .1 apartment and townhouse dwellings; and,
- .2 purposes accessory to the other permitted purpose.

12.1796.2 The lands shall be subject to the following requirements and restrictions:

- .1 an apartment dwelling shall occupy an area designated as Building Area 1 as shown on Figure 1- Exception 1796 to this by-law;
- .2 Maximum Number of Units per apartment dwelling: forty-eight (48);
- .3 Maximum Number of bedrooms per apartment dwelling unit: one (1);
- .4 townhouse dwellings shall occupy the areas designated as Building Areas 2, 3, 4, 5, 6, 7, 8, 9, 10, 11, and 12 on Figure 1- Exception 1796 to this by-law;
- .5 Maximum Number of Dwelling Units in Building Area 1 as shown on Figure 1- Exception 1796: 98 units;
- .6 Landscaped Open Space shall be provided as shown on Figure 1- Exception 1796 to this by-law;
- .7 a minimum of twelve (12) off-street parking spaces shall be provided for the apartment dwelling; and shall be located within the area designated as Area 1 on Figure 1- Exception 1796 to this by-law;
- .8 a minimum of ninety-eight (98) off-street parking spaces shall be provided for the townhouse dwellings; and shall be located within the areas designated as Areas 2, 3, 4, and 5 on Figure 1- Exception 1796 to this by-law; and,
- .9 all parking areas shall have direct and unobstructed access to and from a public highway by means of a driveway or ramp, as shown on Figure 1- Exception 1796 to this by-law.

Figure 1



12.1797 Exception 1797

12.1797.1 The lands shall only be used for the following purposes:

- .1 a gas bar;
- .2 a service station;
- .3 a motor vehicle washing establishment;
- .4 a dining room restaurant, a convenience restaurant, a take-out restaurant;
- .5 only in conjunction with a gas bar or service station, a convenience store; and,
- .6 a warehouse;
- .7 a repair shop;
- .8 an office as an accessory use to the other permitted uses;
- .9 outside storage of oversized vehicles and transport trailers shall be permitted in conjunction with other permitted uses;
- .10 purposes accessory to the other permitted purposes.

12.1797.2 The lands shall be subject to the following requirements and restrictions:

- .1 Minimum Lot Width: 35.0 metres;
- .2 Minimum Lot Depth: 192.4 metres
- .3 Minimum Front Yard: 10 metres;
- .4 Minimum Interior Side Yard Width: 3m
- .5 Minimum Exterior Side Yard Width: 8m
- .6 Minimum Rear Yard: 142m
- .7 Notwithstanding Exception 1796.2(4), a hydro transformer may be located within 2 meters of the interior side lot line;
- .8 Except at approved access locations, landscape open space area shall be provided As follows:
 - .a A minimum 3.0 metres wide strip abutting Goreway Drive; and
 - .b A minimum 3.0 metres wide strip abutting intermodal Drive and Deerhurst Drive
- .9 A maximum of two (2) restaurants shall be permitted; and combined gross leasable Floor area devoted to the restaurants shall be limited to 729.0 square metres in total, with no individual restaurant exceeding a gross leasable floor area of 365.0 square metres;
- .10 Loading Doors: no overhead doors shall be permitted on a building wall that faces:

- .a Goreway Drive;
- .b Intermodal Drive; or
- .c Deerhurst Drive, unless screened from view from a public street(s);

.11 Waste Disposal:

- .a No opening for waste disposal facilities shall be permitted on a building wall that faces:
 - .i Goreway Drive;
 - .ii Intermodal Drive, or,
 - .iii Deerhurst Drive, unless screened from view from a public street(s);
- .b Refuse storage for restaurant purposes, including any containers for the storage of recyclable materials, shall be contained in a climate-controlled area within a building; and,
- .c All garbage and refuse storage other than for a restaurant including any containers for the storage of recyclable materials, shall be located within a building.

.12 No outdoor display and/or sales shall be permitted;

.13 Notwithstanding 1793.2(13), outside storage of oversized motor vehicles shall be Permitted and is limited to a maximum 50 spaces;

.14 Outside storage shall be enclosed by a fence or wall not less than 2.0 metres in height, constructed of metal, wood or masonry which is effective in screening the storage area from the street; and;

.15 Section 4.1 shall not apply with respect to car stacking space requirements for Motor vehicle washing establishment.

12.1797.3 For the purposes of Exception 1797:

- .1 All lands zone GC – Exception 1797 shall be deemed to be one lot
- .2 The lot line abutting Goreway drive shall be considered the front lot line and the lot line abutting Intermodal drive shall be considered the flankage lot line
- .3 A building wall, or portion thereof, shall be deemed to face a public road if, within a distance of 200.00 metres, a line drawn perpendicular to the alignment of the road in question intersects with the face of the particular building wall without being obstructed by an intervening building;
- .4 A building wall, or portion thereof, shall be deemed to be screened from a public road if an intervening building, structure, berm, wall, fence or landscaped buffer functions as an opaque barrier which obstructs direct view of the building wall, or portion thereof, from the particular public road

12.1797.4 The Holding (H):

- .1 Until the Holding (H) symbol is removed, the lands shall only be used in accordance with the Agricultural (A – Exception 782) zone.
- .2 The Holding (H) symbol shall not be removed until such time as the following have been provided:
 - .a Confirmation from the Ministry of Municipal Affairs and Housing that the appropriate Arrangements with respect to the Parkway Belt West Plan designations and permissions are amended or have been revoked by the Ministry of Municipal Affairs and Housing.

12.1799 Exception 1799

12.1799.1 The lands shall only be used for the following purposes:

- .1 shall only be used for the purposes permitted by Exception 1799.1(1)(a) or the purposes permitted by Exception 1799.1(1)(b) but not both sections or not any combination of both sections:
 - .a either:
 - .i a warehouse,
 - .ii an associated office; and,
 - .iii purposes accessory to the other permitted purposes.
 - .b or:
 - .i a manufacturing, processing, assembling, packaging, repairing, fabricating, warehousing and storage use within a wholly enclosed building;
 - .ii retail warehousing;
 - .iii a furniture and appliance store;
 - .iv a recreation facility and structure;
 - .v a community club;
 - .vi an automobile sales dealership and establishment;
 - .vii a garden centre sales establishment;
 - .viii a public and utility use;
 - .ix a service shop;
 - .x a banquet hall; and,
 - .xi purposes accessory to the other permitted purposes.

12.1799.2 The lands shall be subject to the following requirements and restrictions:

- .2 for those purposes permitted in Exception 1799.1(1)(a) the following requirements and restrictions shall apply:
 - .a Minimum Lot Area: 1.5 hectares;
 - .b Minimum Lot Width: 50 metres;
 - .c Minimum Rear Yard Depth: 3 metres;
 - .d Minimum Exterior Side Yard Width: 3 metres;

- .e a landscaped area, not less than 3.0 metres in width, shall be provided and maintained where the lands abut a road other than Goreway Drive;
- .f a landscaped area, not less than 9.0 metres in width, shall be provided and maintained where the lands abut Goreway Drive;
- .g no outside storage of goods, materials or machinery shall be permitted;
- .h all garbage and refuse storage, including any containers for the storage of recyclable materials, shall be enclosed and screened from Goreway Drive;
- .i an adult entertainment parlour, a massage parlour, and adult video store or an adult bookstore shall not be permitted.

12.1799.3 for the purposes of Exception 1799:

- .1 Front Lot Line shall mean the lot line abutting Goreway Drive.